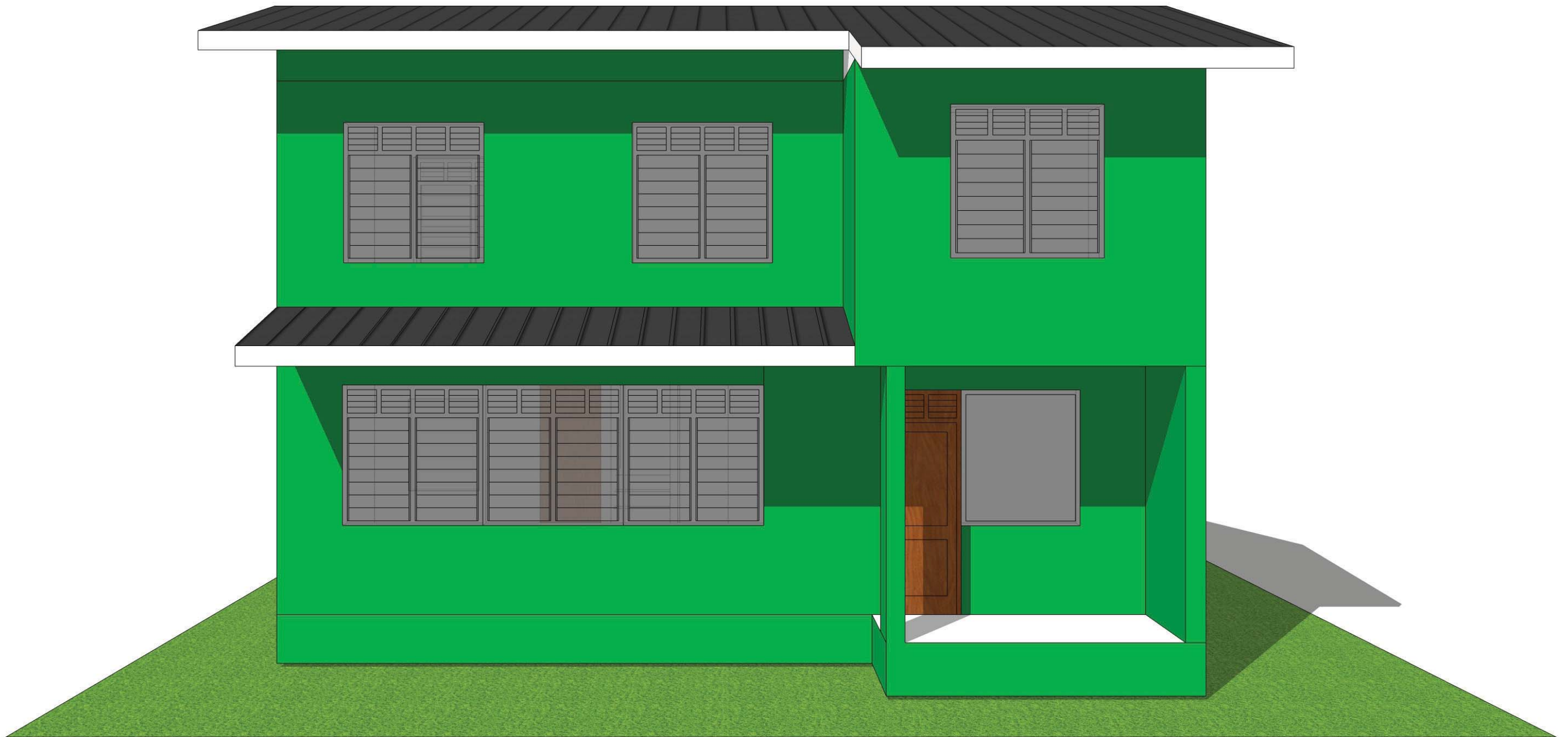


# EXPANSION DESIGN

## Type G (green)



# HOUSE TYPE G

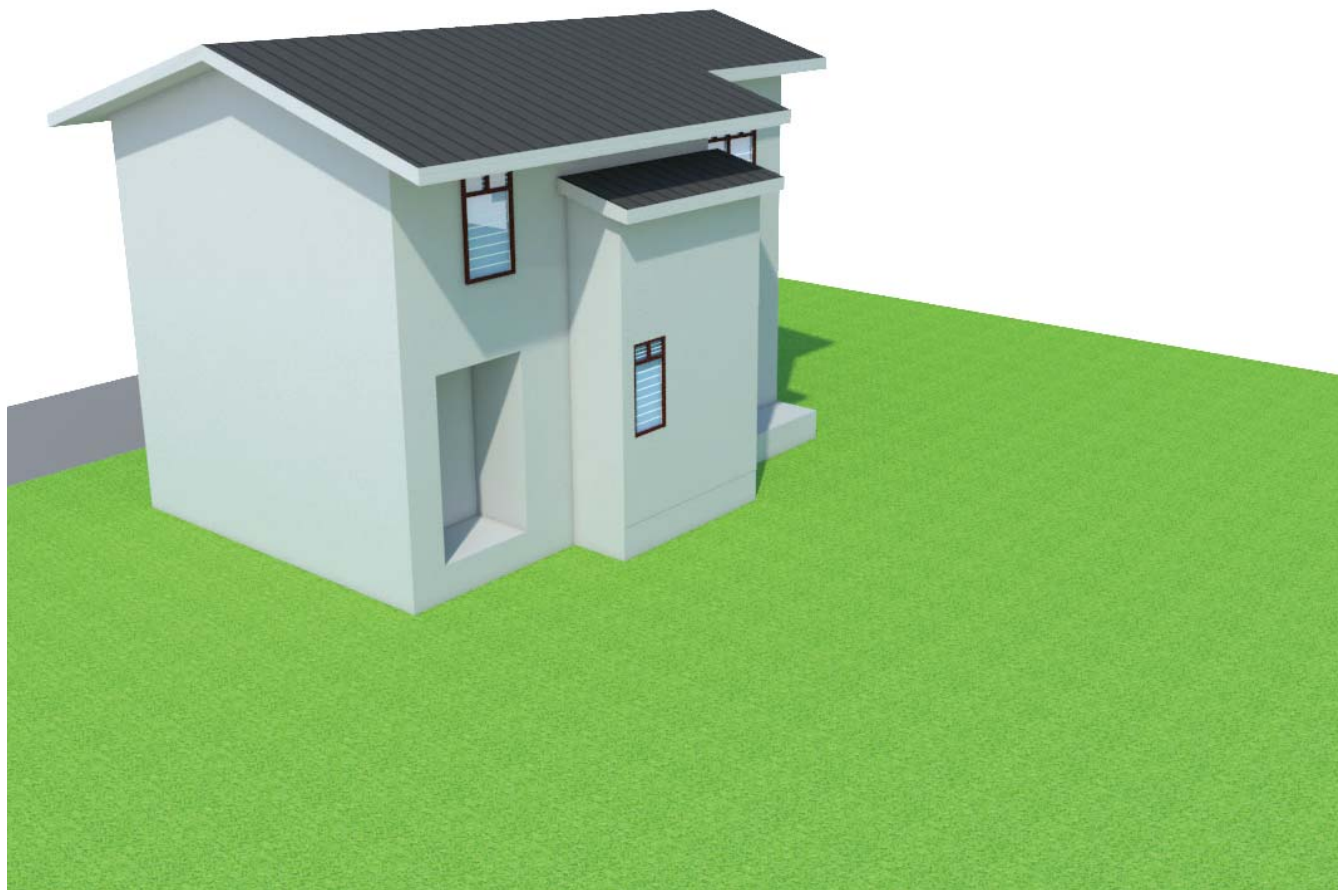


## GREEN HOUSE

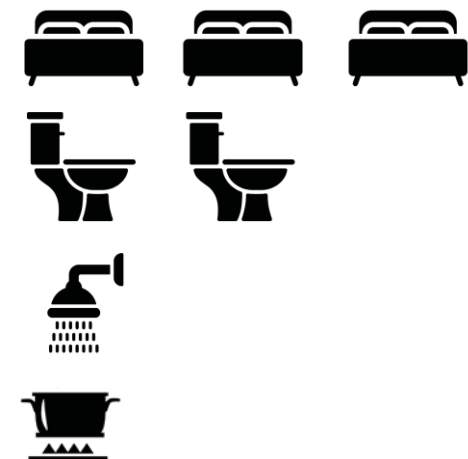
DETAILS

GF=43m<sup>2</sup>

1F=40m<sup>2</sup>



ROOMS:

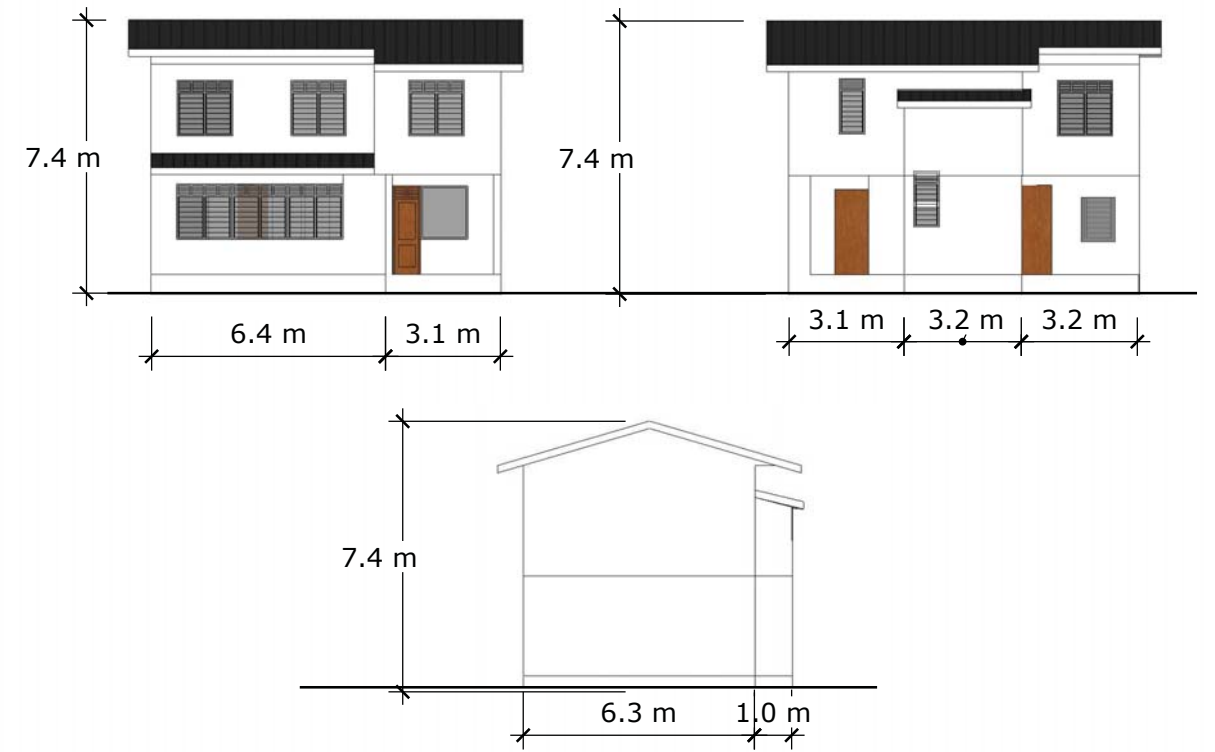
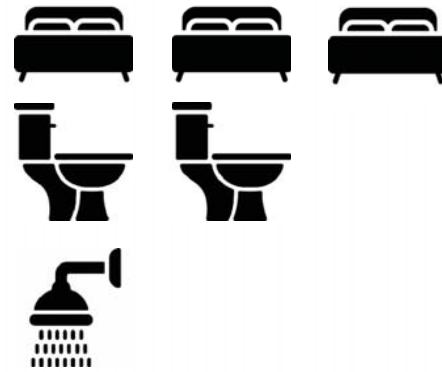


TOT N° UNITS 10

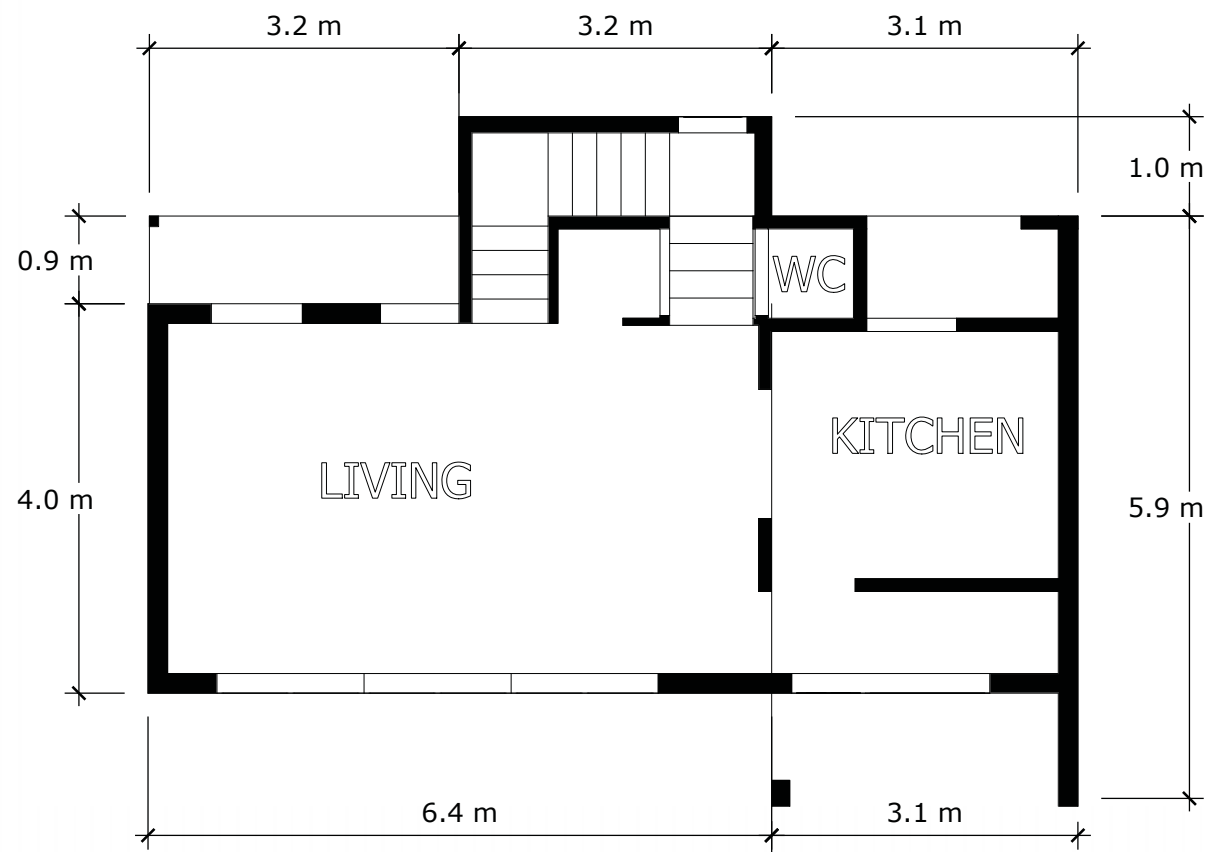


# GREEN HOUSE

AREA 102 m<sup>2</sup>

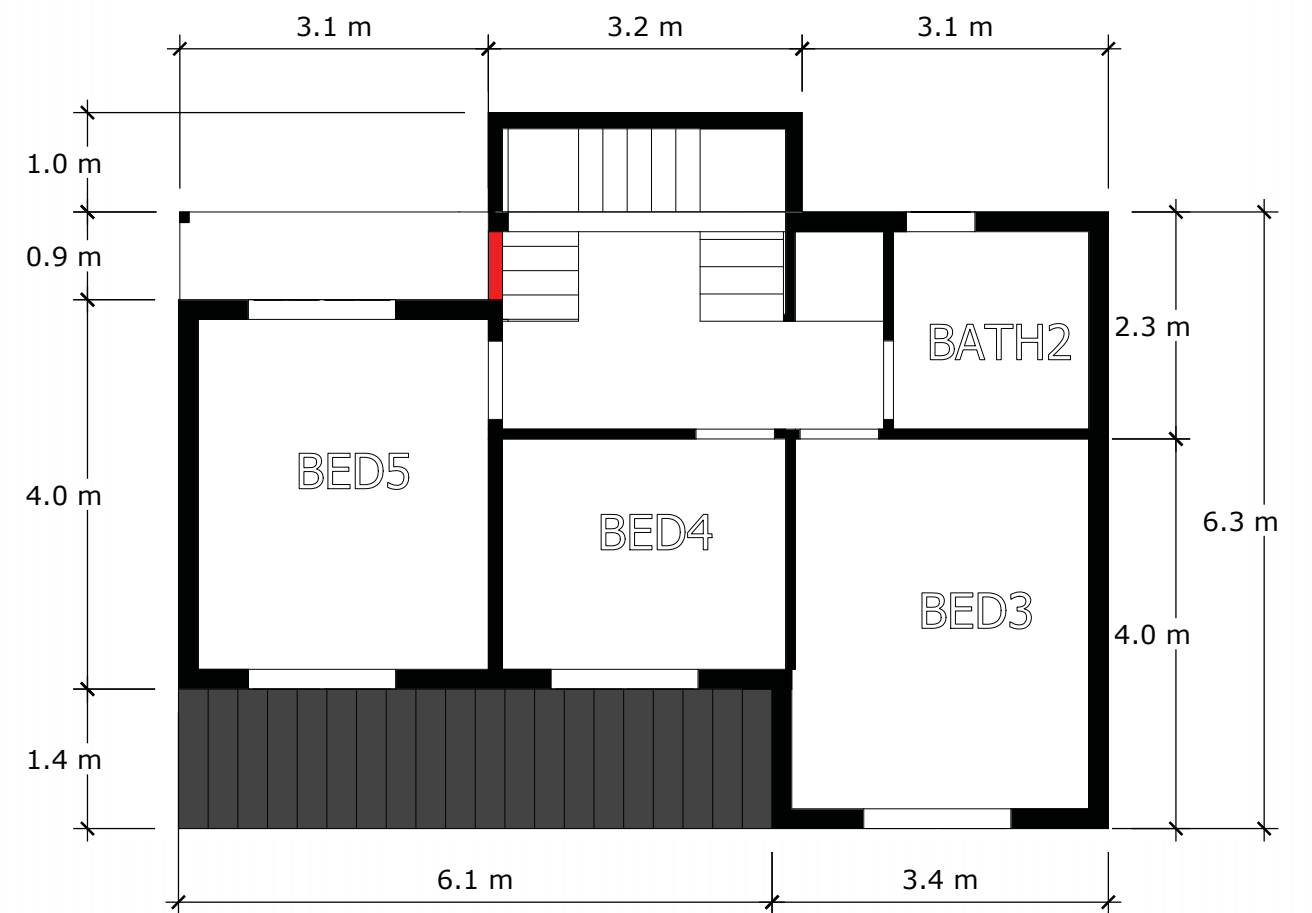


## Ground Floor



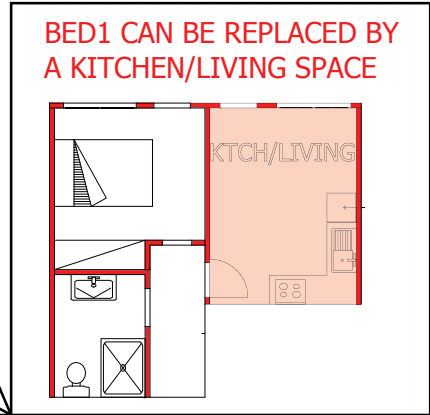
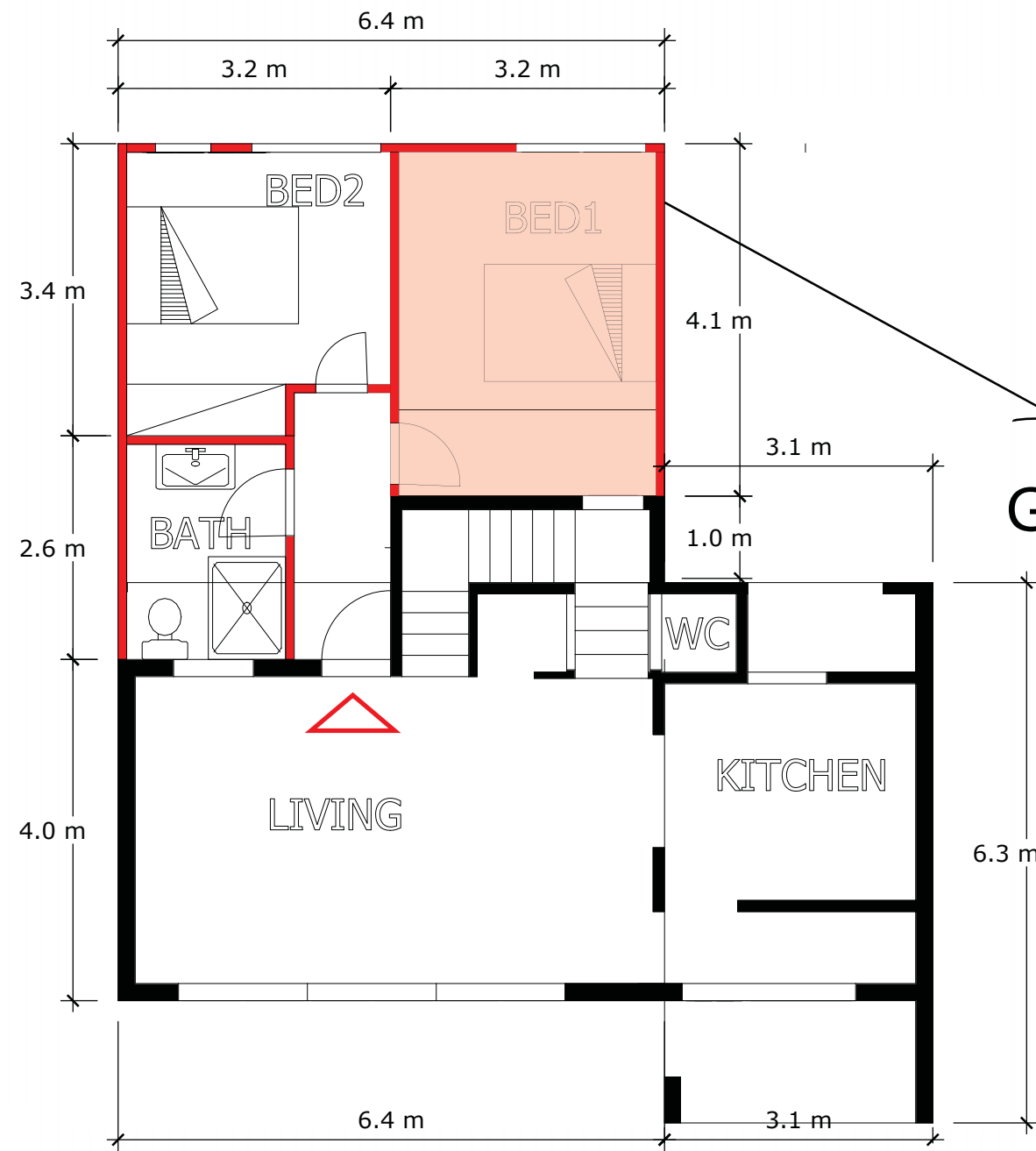
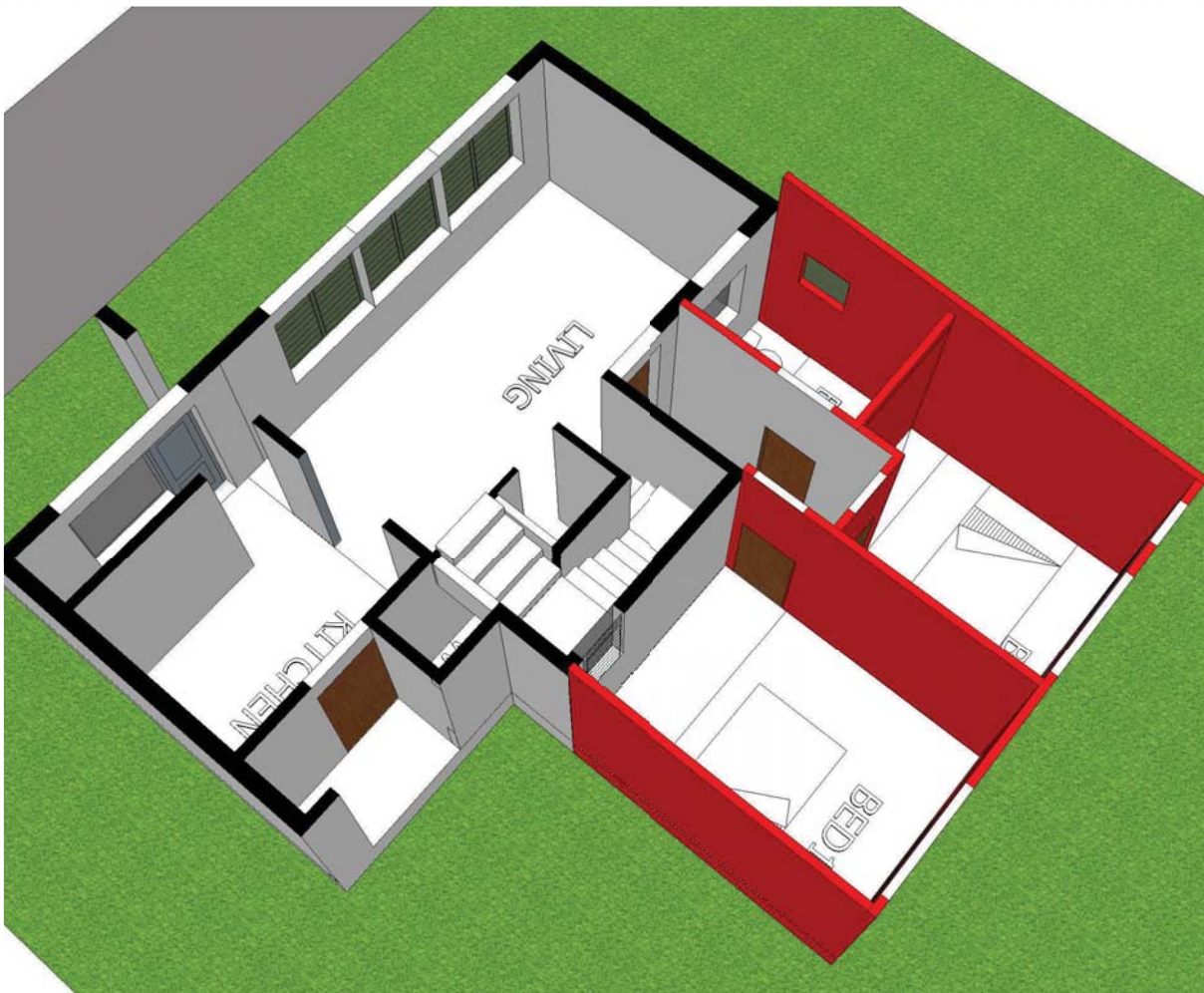
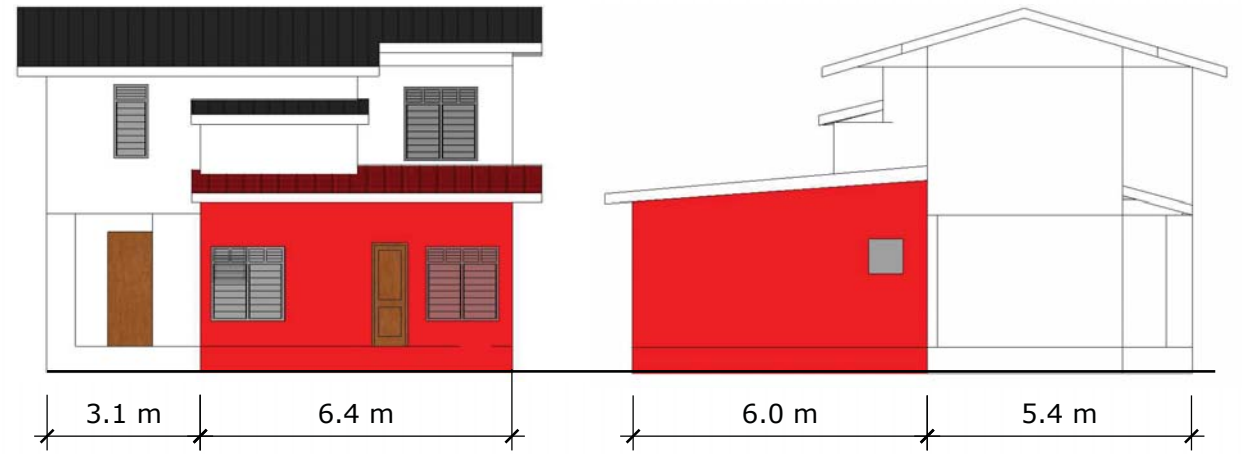
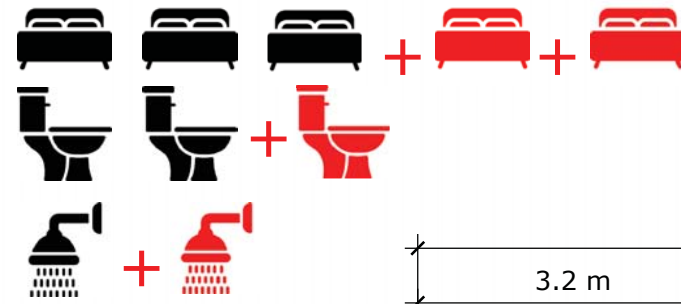
Scale 1:75

## First Floor





# GREEN HOUSE OPTION 1



Ground Floor

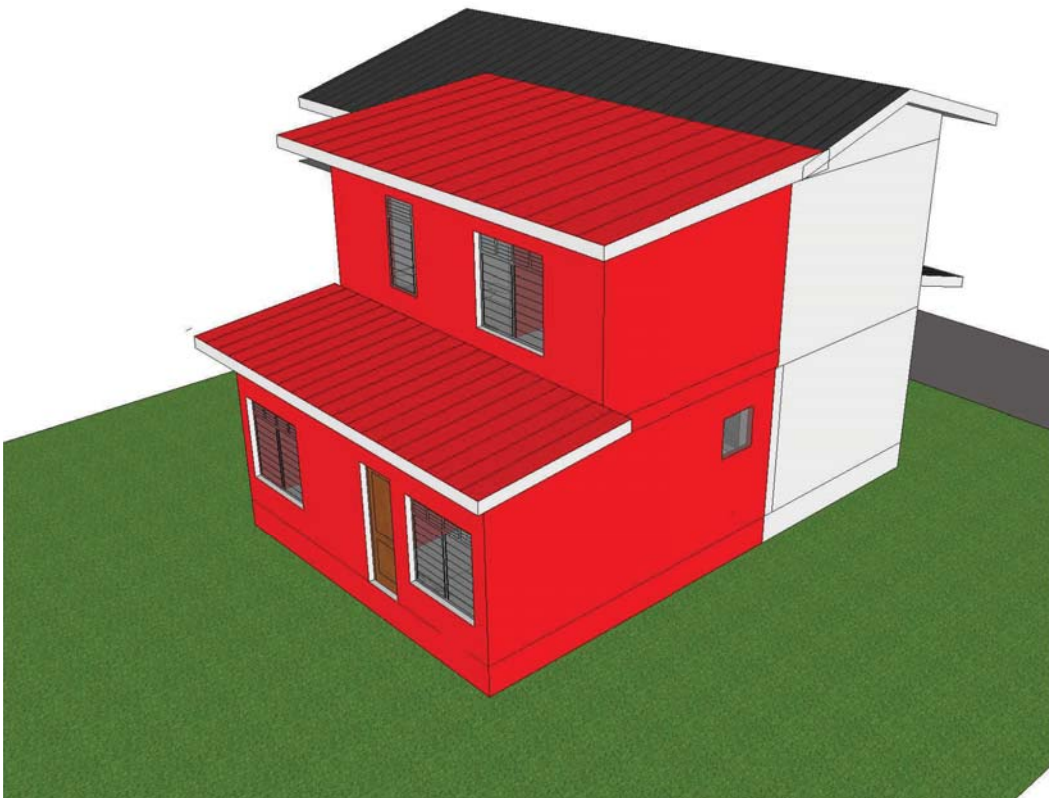
OPTION 1	GREEN HOUSE	
	CONVENTIONAL BLOCKWORK MODEL	FIBER BOARDS OPTION
OPTION 1 TOTAL AREA (SQM)	38.4 m <sup>2</sup>	38.4 m <sup>2</sup>
INDICATIVE COST (SCR)	288,000.00	211,200.00
PLANNING AUTHORITY PROCESSING FEE (SCR)	300.00	
ASSUMPTIONS	1. The construction shall involve minimal site improvement works 2. Finishes to be off basic specs; cement screed flooring, louver windows, etc. 3. Indicative costs does not factor in inflation from 2019 onwards	

# EXISTING

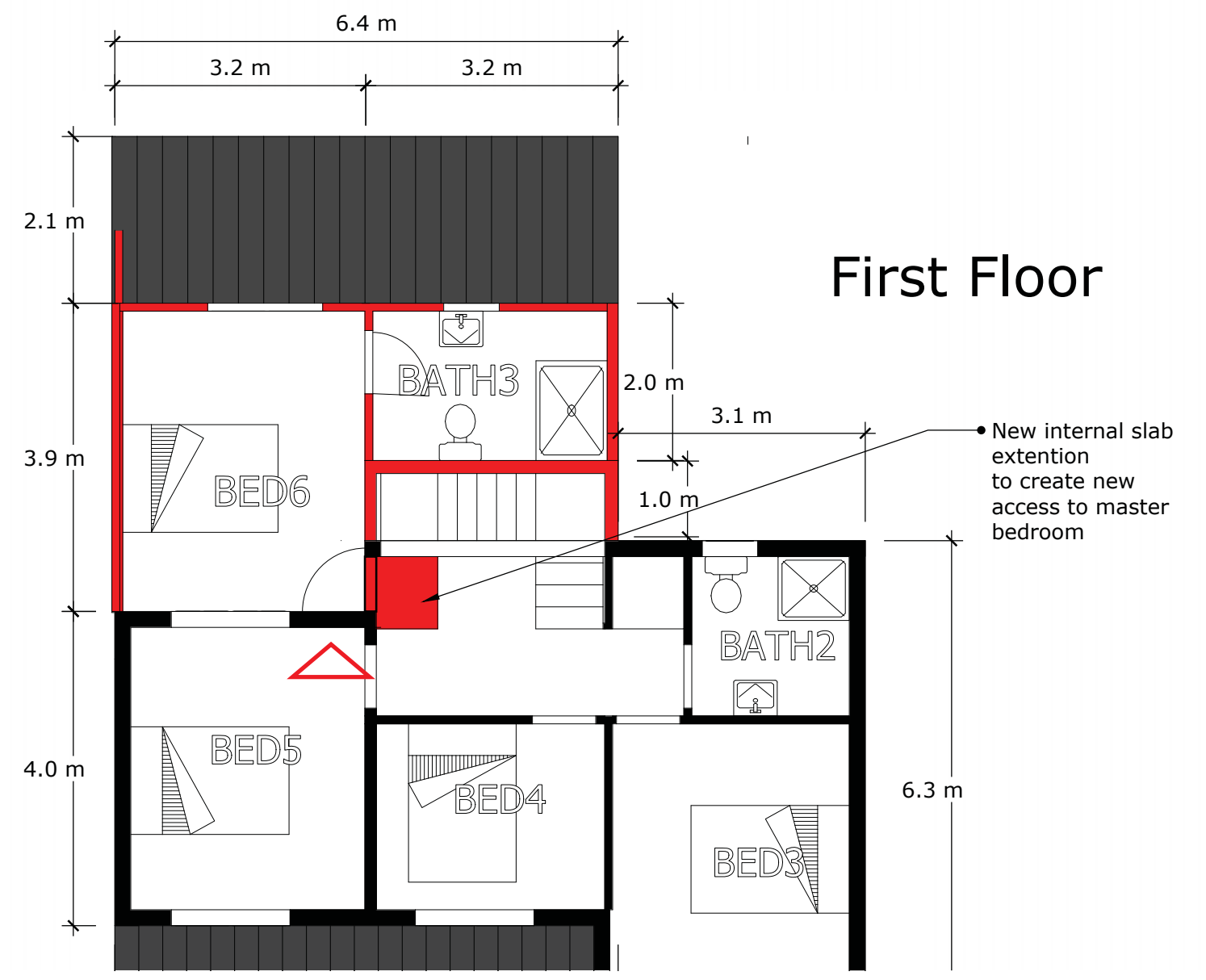
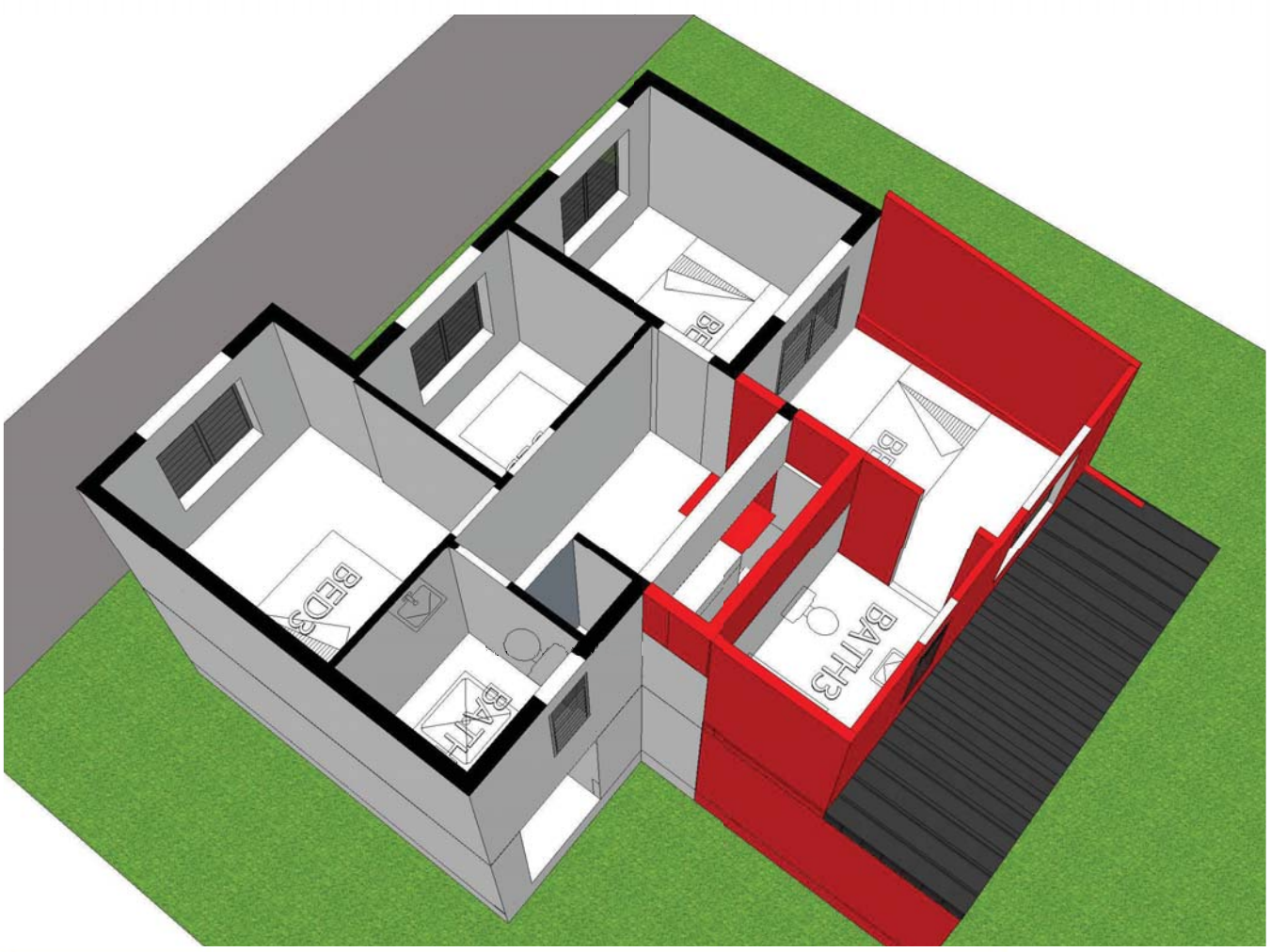
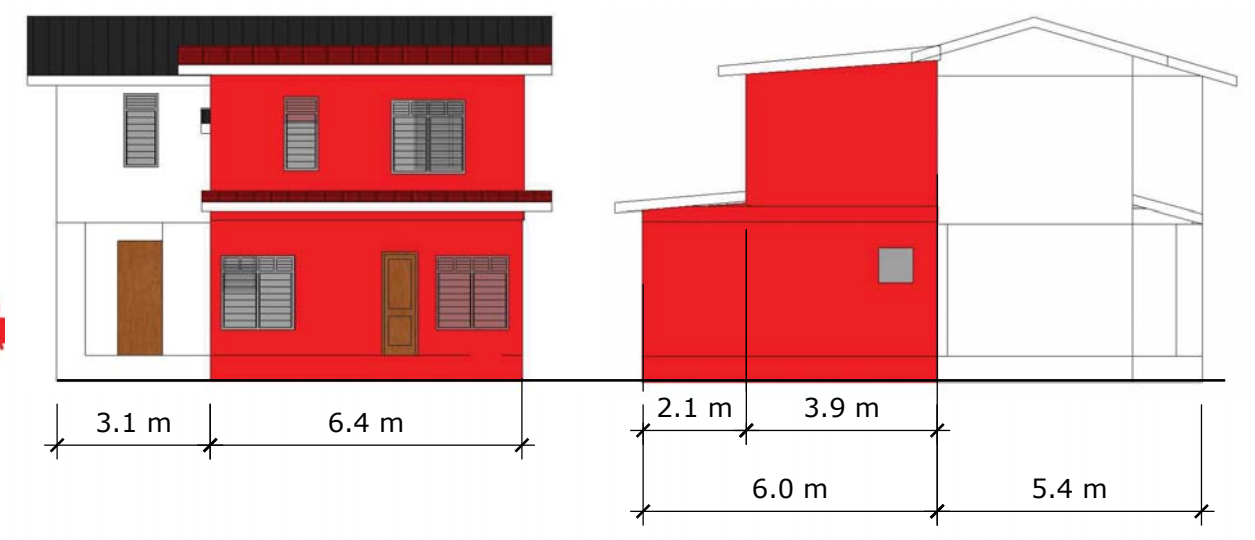
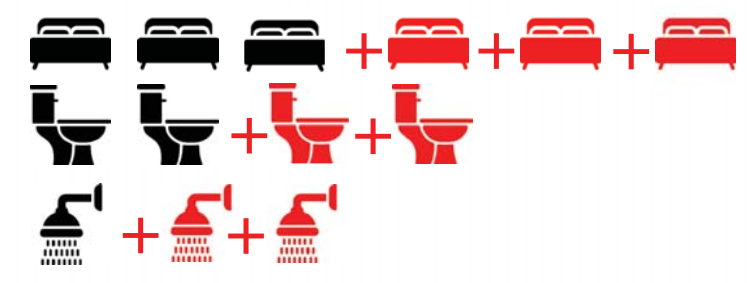


# OPTION 1





# GREEN HOUSE OPTION 2



## First Floor

• New internal slab extension to create new access to master bedroom

OPTION 2	GREEN HOUSE	
	CONVENTIONAL BLOCKWORK MODEL	FIBER BOARDS OPTION
OPTION 2 TOTAL AREA (SQM)	60.48m <sup>2</sup>	60.48 m <sup>2</sup>
INDICATIVE COST (SCR)	453,600.00	332,640.00
PLANNING AUTHORITY PROCESSING FEE (SCR)	300.00	
ASSUMPTIONS	1. The construction shall involve minimal site improvement works 2. Finishes to be off basic specs; cement screed flooring, louver windows, etc. 3. Indicative costs does not factor in inflation from 2019 onwards	

# EXISTING



# OPTION 2



NOTE:  
 - EVERY NEW EXTENSION WINDOW MUST BE MIN 9 M FROM ANY OTHER EXISTING FACING WINDOWS.  
 - IF THE EXTENSION IS STREET FACING THE BACK SETBACK IS TO BE CONSIDERED FROM THE ROAD CENTER.

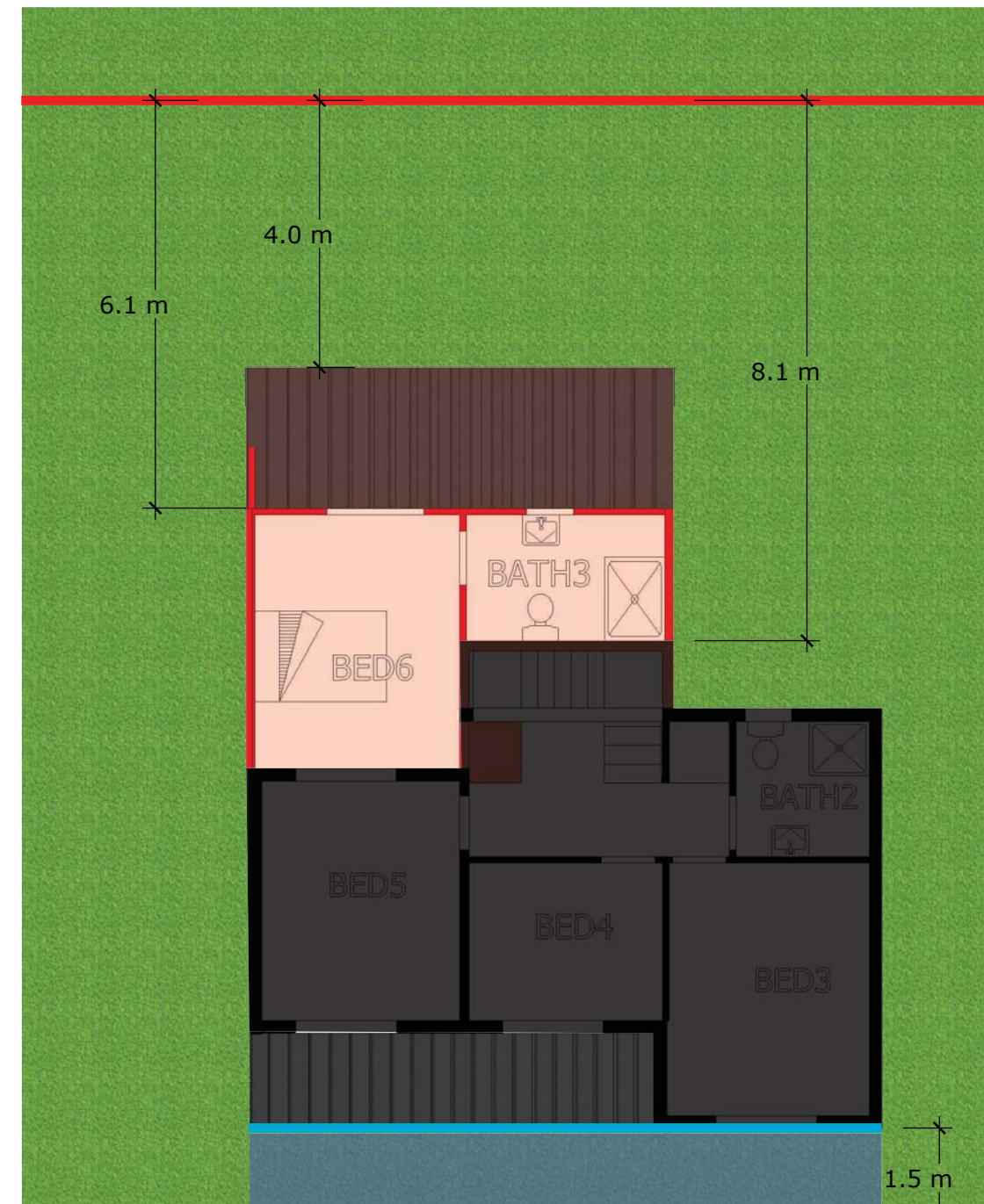
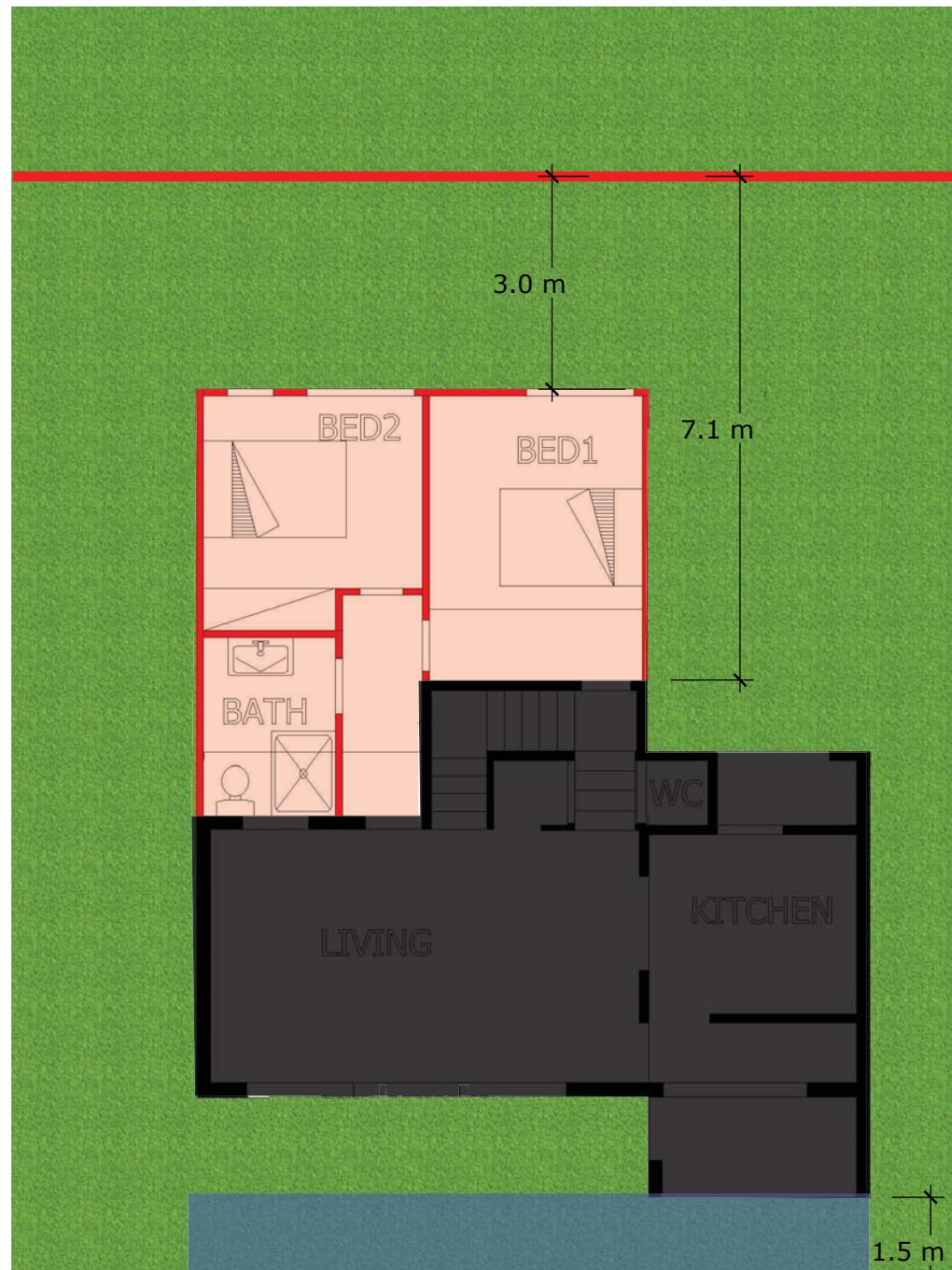
# EXTENTION MIN SETBACKS

## TYPE G



### OPTION 1

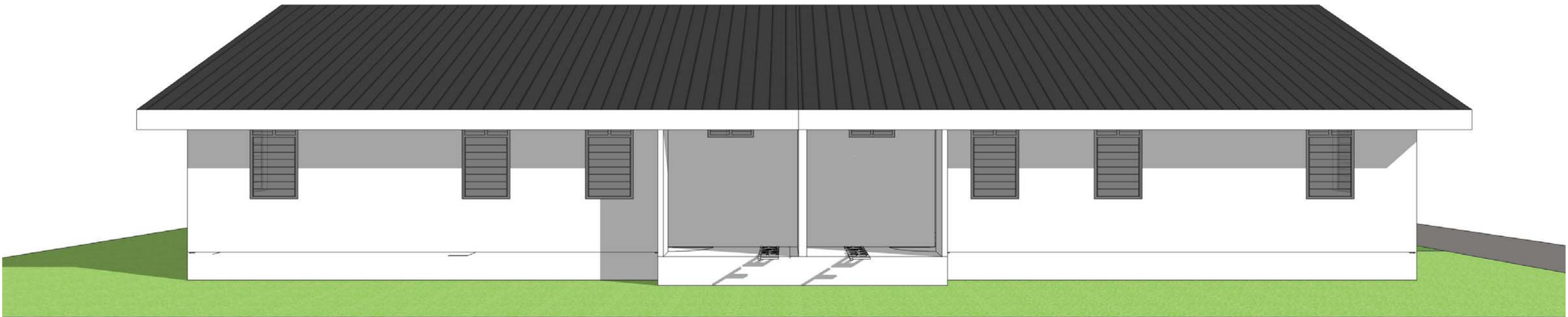
### OPTION 2





# EXPANSION DESIGN

## Type W (white)



### EXPAT HOUSE

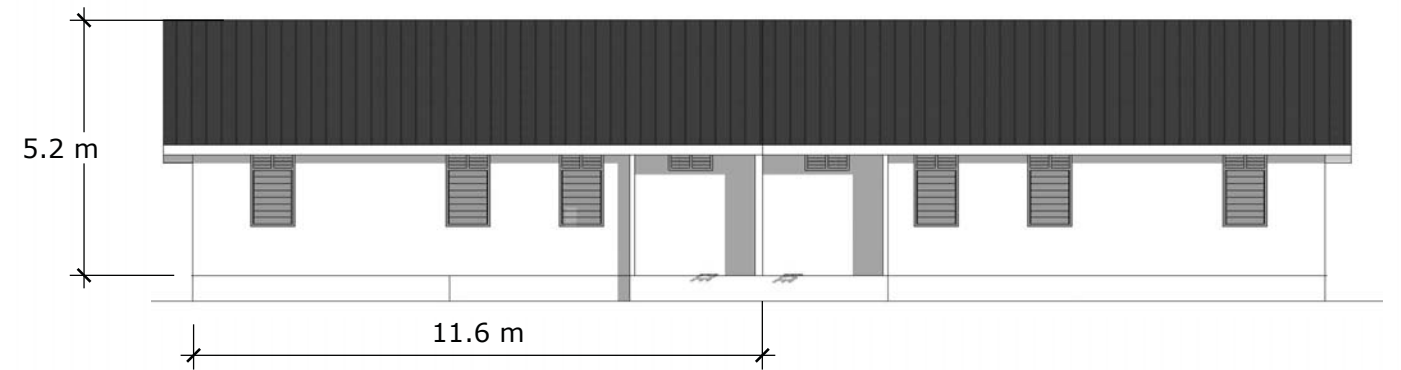
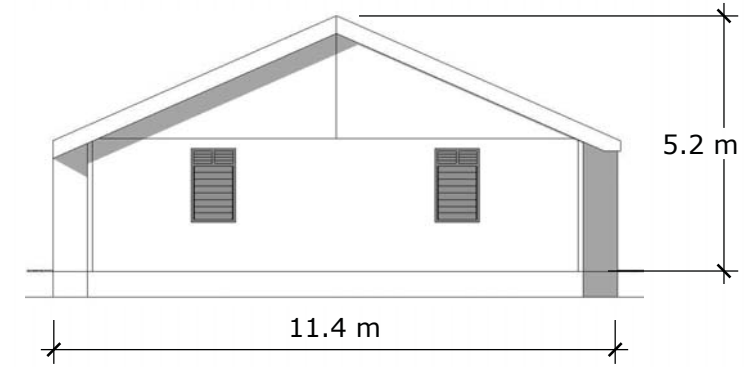
AREA 60 m2 4 UNIT



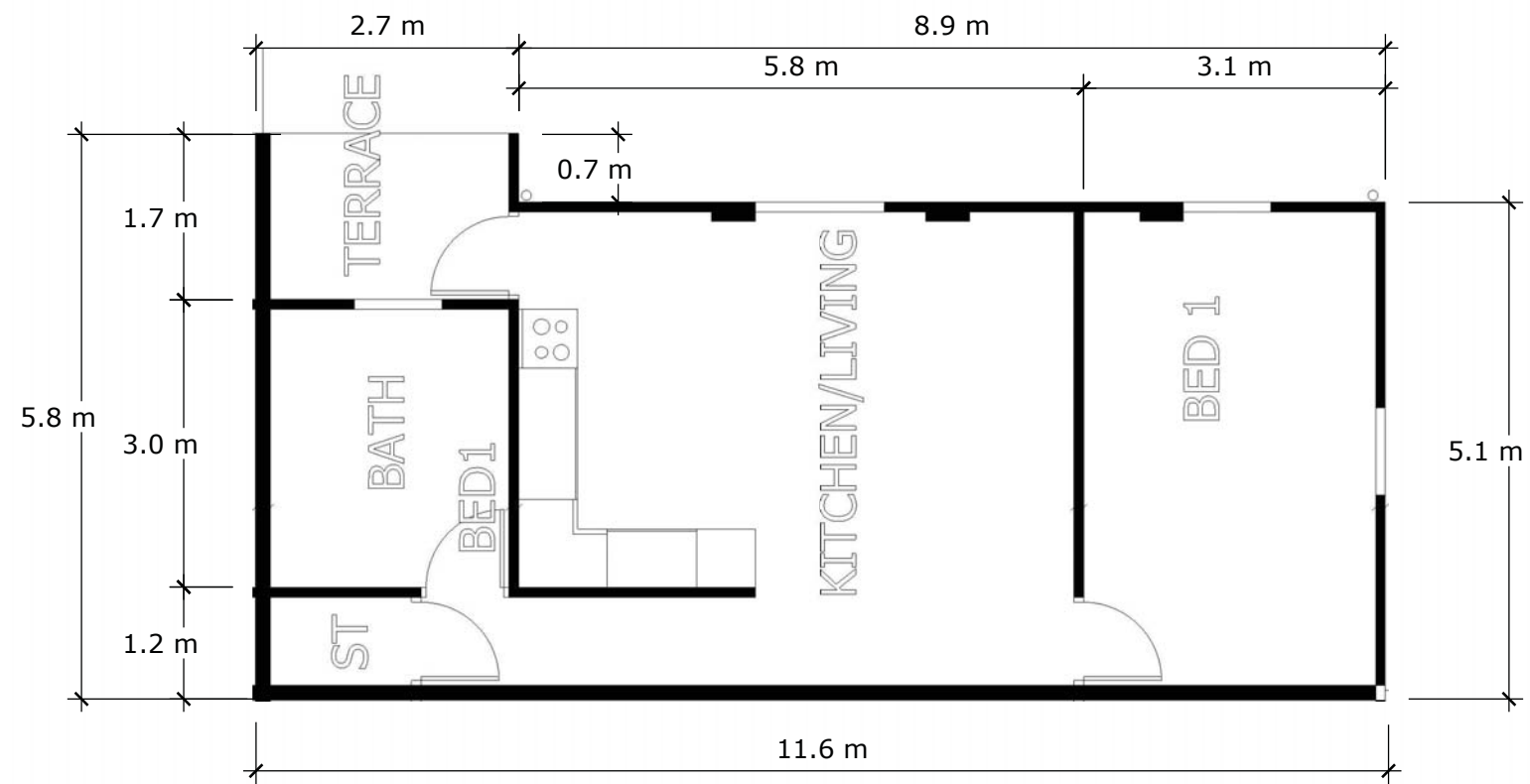
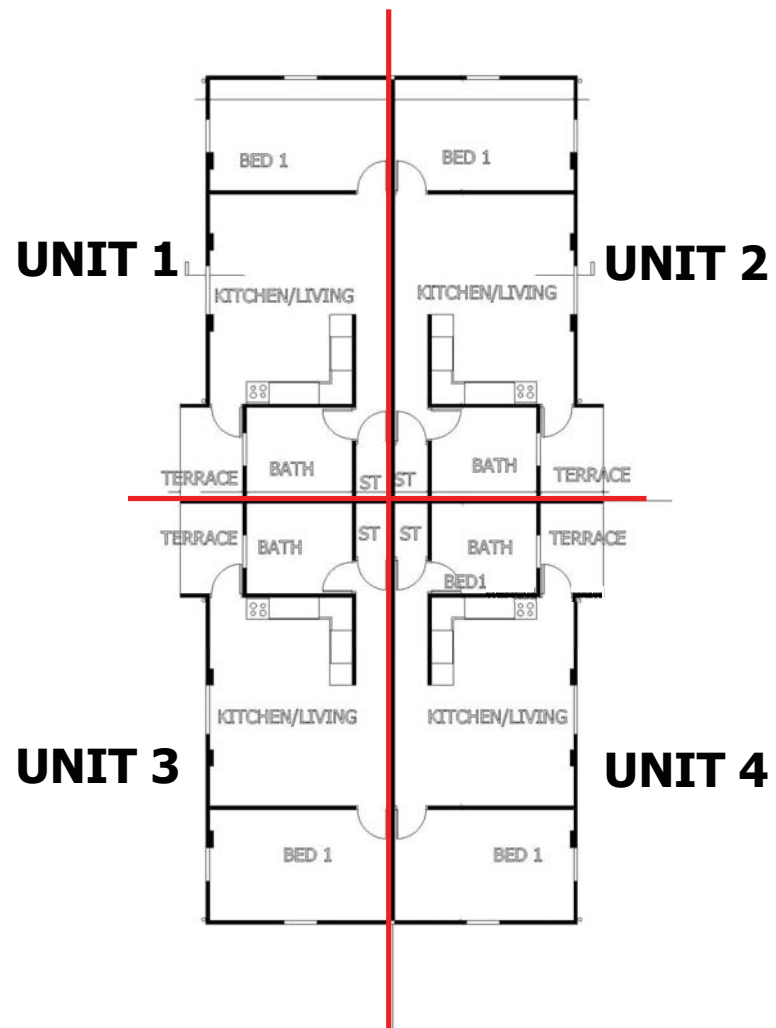


# WHITE HOUSE

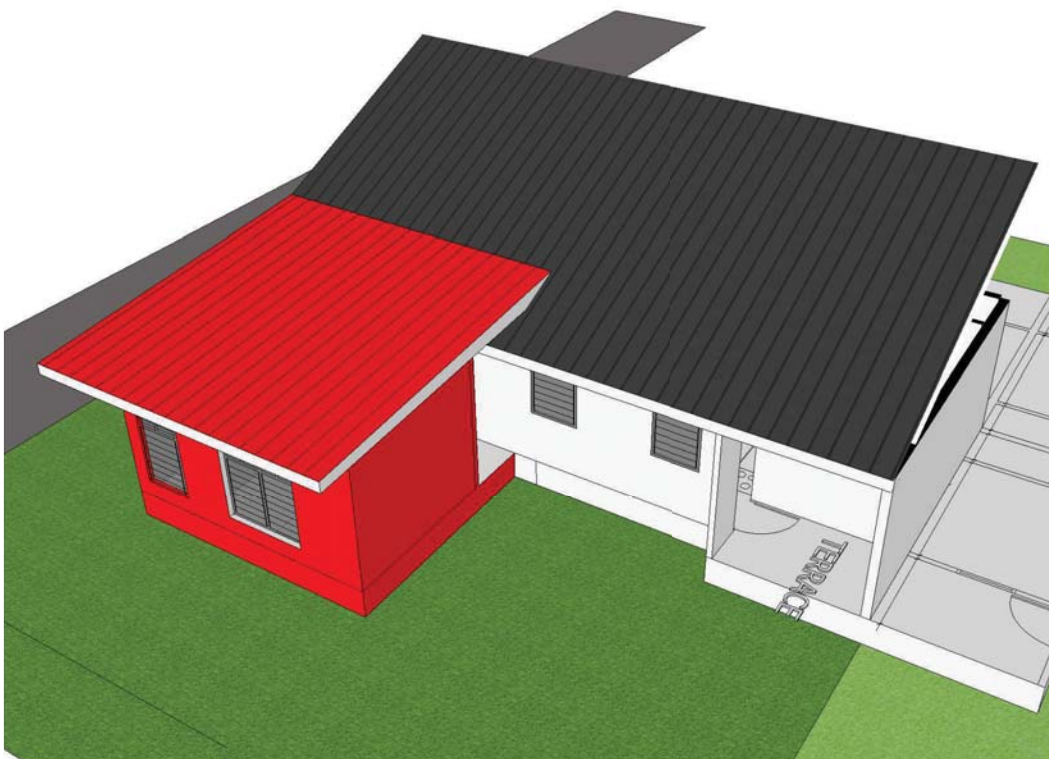
AREA 60 m<sup>2</sup> 4 UNIT



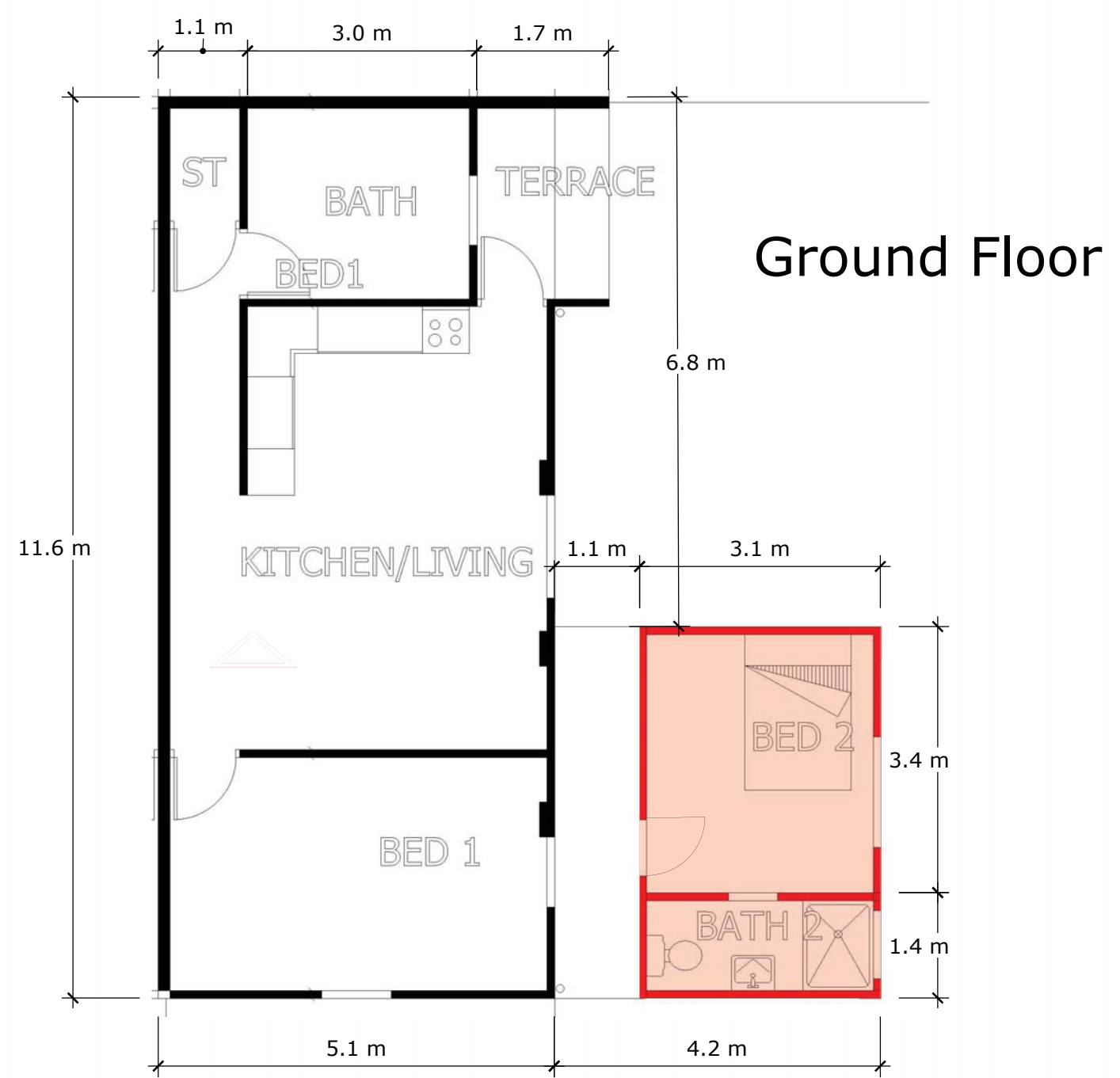
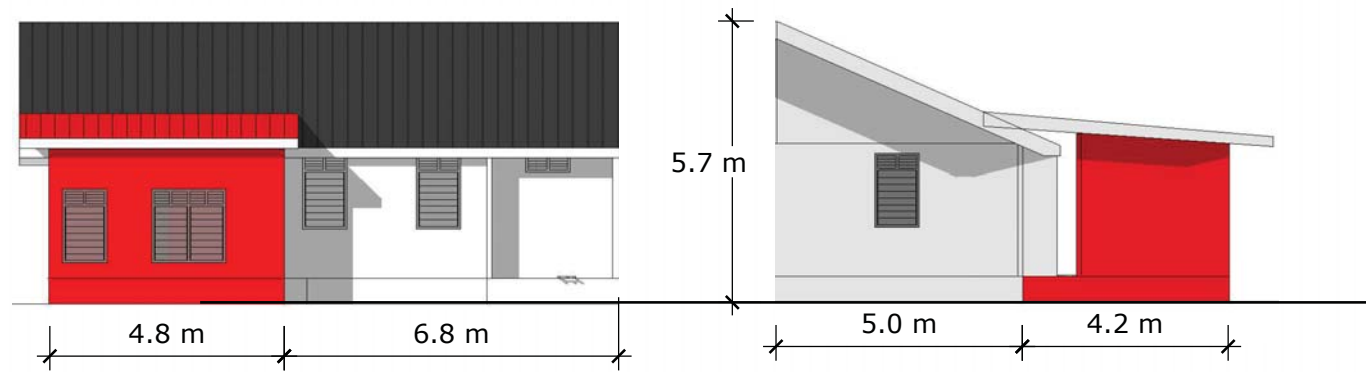
## Ground Floor



Scale 1:75



# WHITE HOUSE OPTION 1



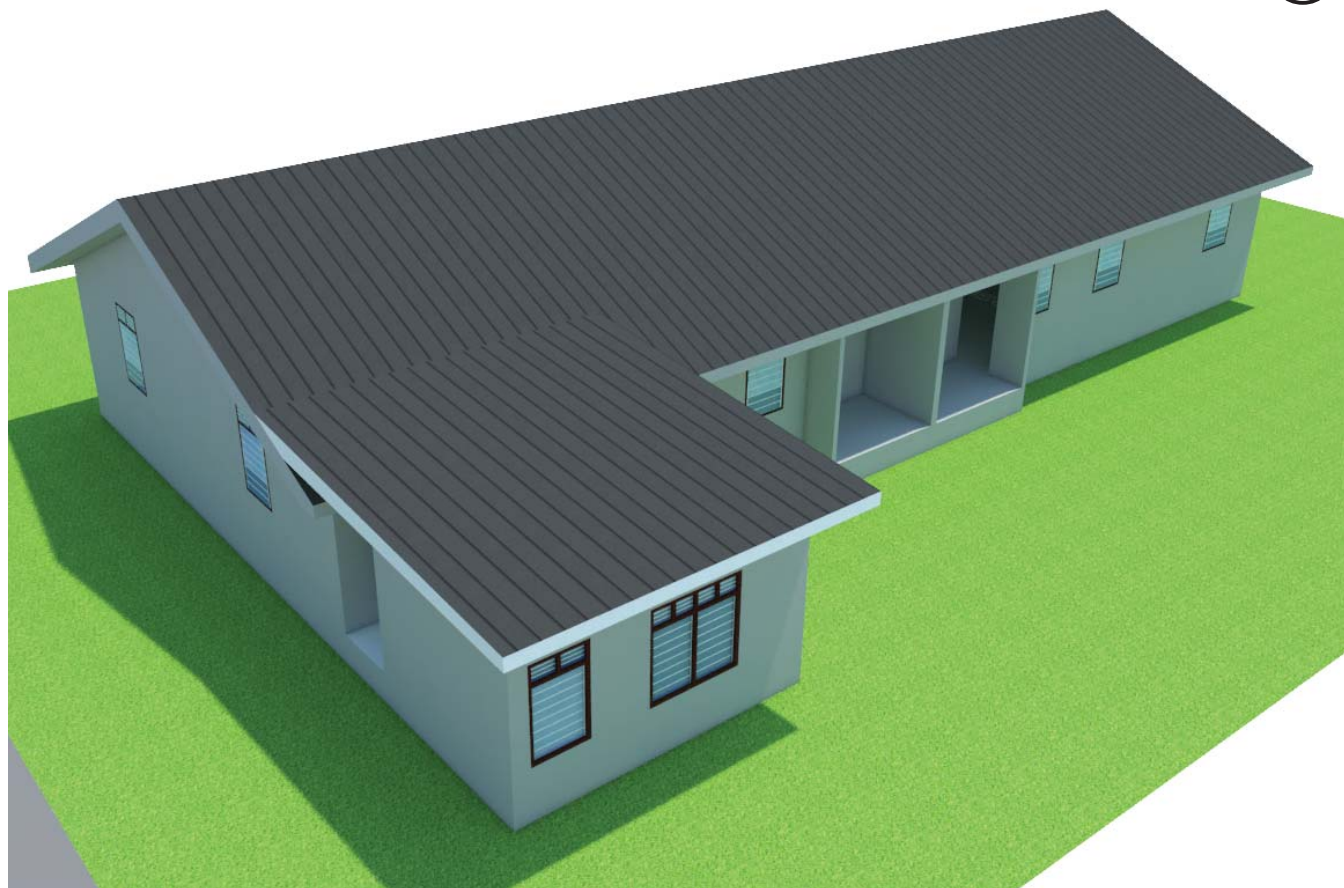
Ground Floor

OPTION 1	WHITE HOUSE	
	CONVENTIONAL BLOCKWORK MODEL	FIBER BOARDS OPTION
OPTION 1 TOTAL AREA (SQM)	20.16m <sup>2</sup>	20.16m <sup>2</sup>
INDICATIVE COST (SCR)	151,200.00	110,880.00
PLANNING AUTHORITY PROCESSING FEE (SCR)	300.00	
ASSUMPTIONS	1. The construction shall involve minimal site improvement works 2. Finishes to be off basic specs; cement screed flooring, louver windows, etc. 3. Indicative costs does not factor in inflation from 2019 onwards	

# EXISTING

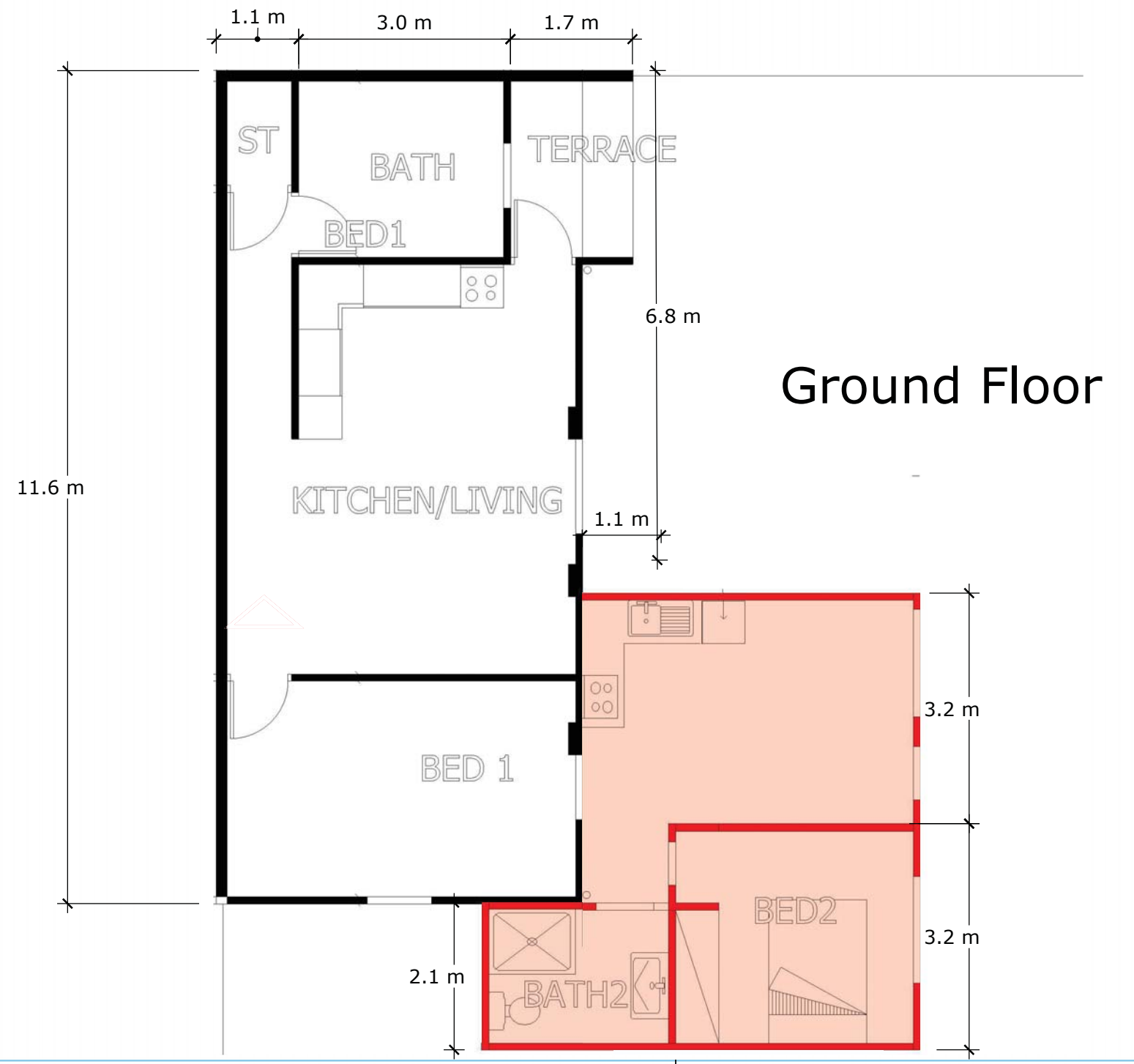
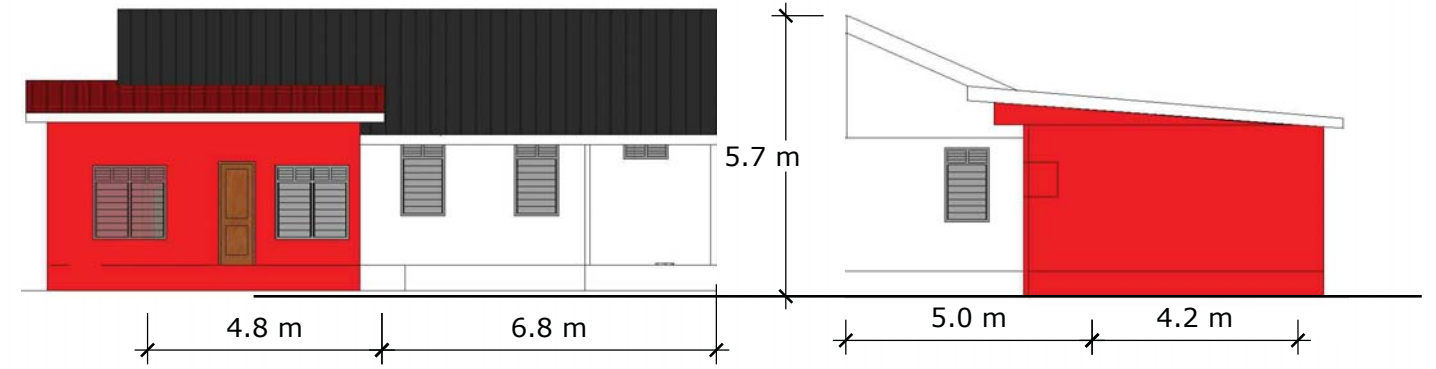


# OPTION 1





# WHITE HOUSE OPTION 2



Ground Floor

OPTION 2	WHITE HOUSE	
	CONVENTIONAL BLOCKWORK MODEL	FIBER BOARDS OPTION
OPTION 2 TOTAL AREA (SQM)	31.19m2	31.19m2
INDICATIVE COST (SCR)	233,9250.00	171,545.00
PLANNING AUTHORITY PROCESSING FEE (SCR)	300.00	
ASSUMPTIONS	<ol style="list-style-type: none"> <li>The construction shall involve minimal site improvement works</li> <li>Finishes to be off basic specs; cement screed flooring, louver windows, etc.</li> <li>Indicative costs does not factor in inflation from 2019 onwards</li> </ol>	

# EXISTING

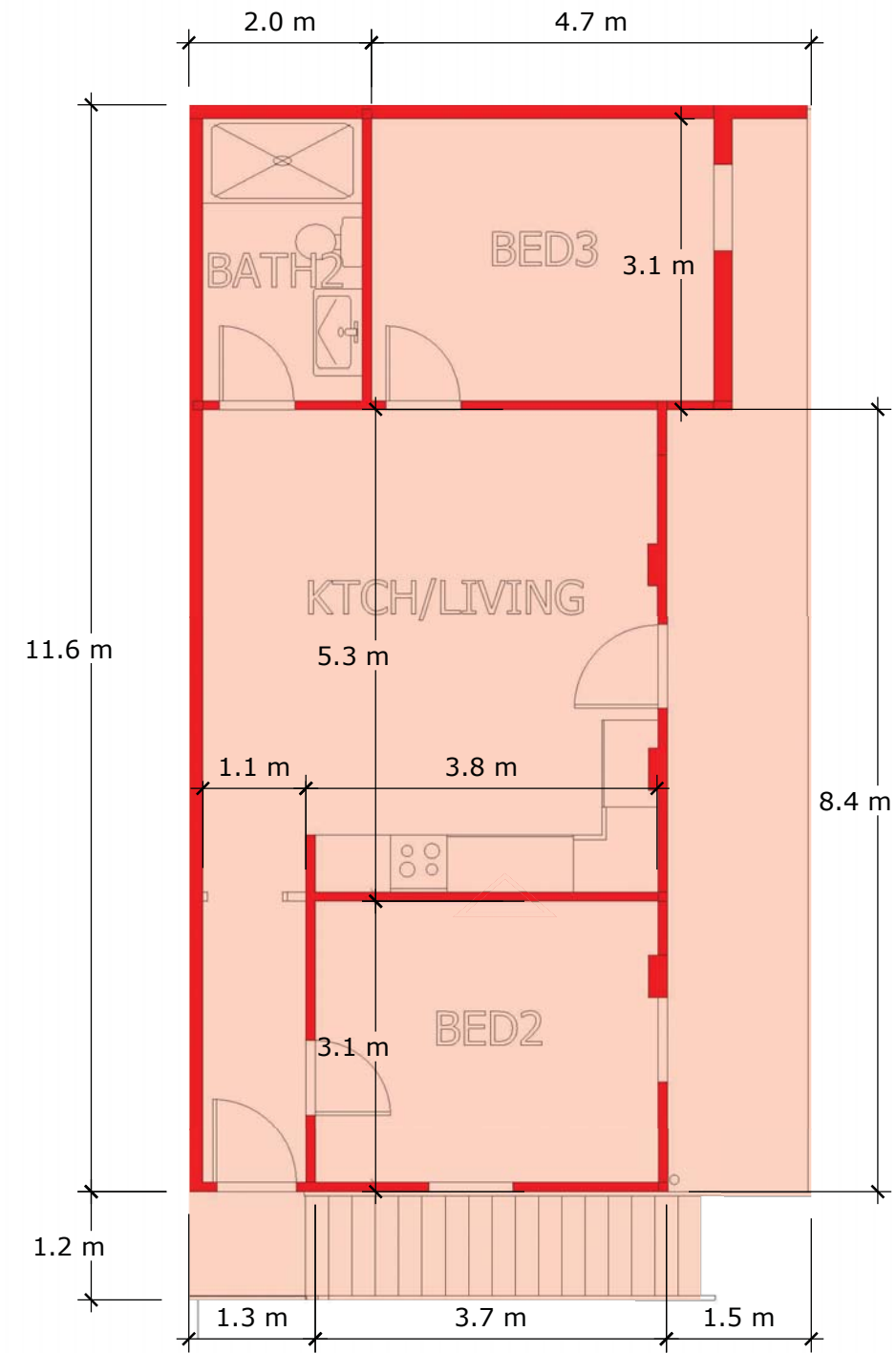


# OPTION 2

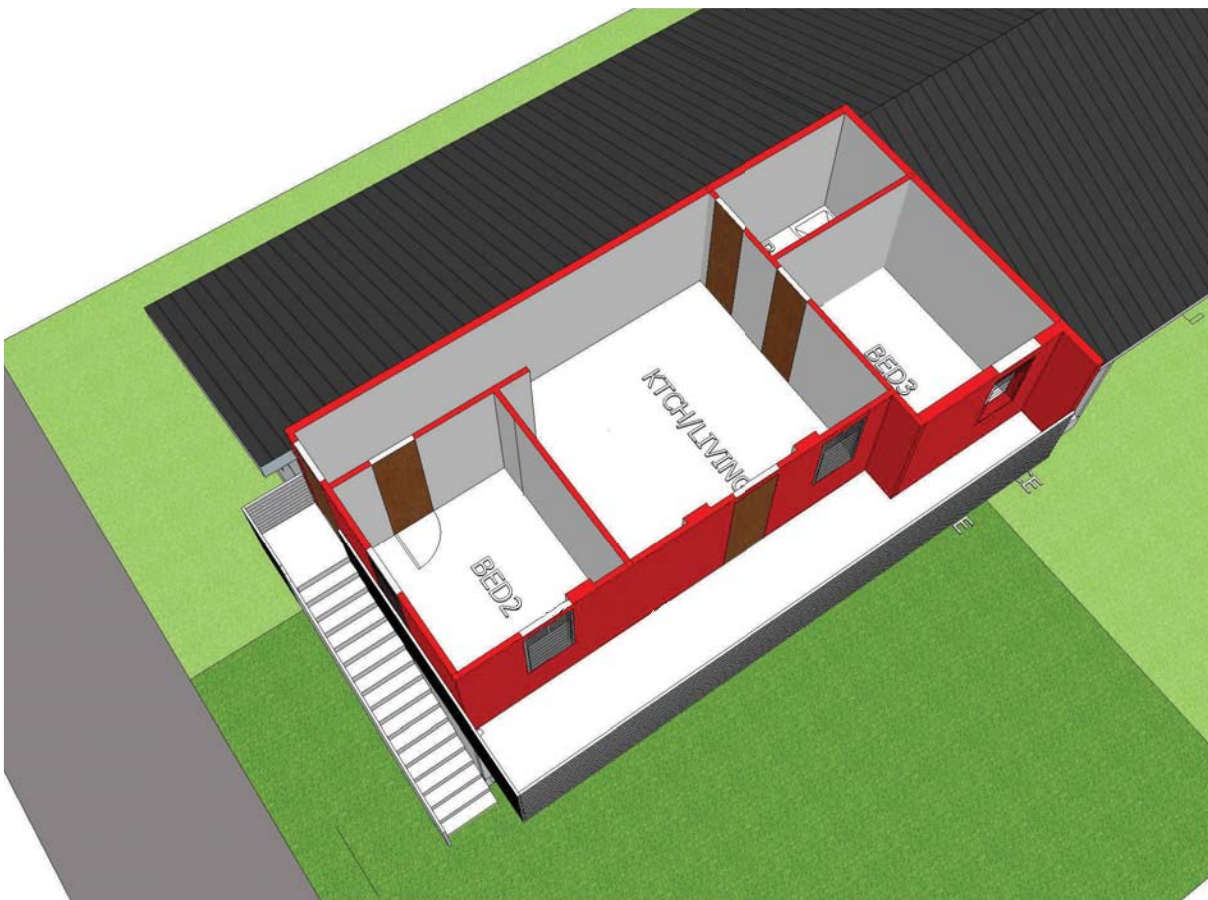




# WHITE HOUSE OPTION 3



Ground Floor  
Scale 1:75



OPTION 3	WHITE HOUSE	
	CONVENTIONAL BLOCKWORK MODEL	FIBER BOARDS OPTION
OPTION 3 TOTAL AREA (SQM)	86.43m <sup>2</sup>	86.43m <sup>2</sup>
INDICATIVE COST (SCR)	648,225.00	475,365.00
PLANNING AUTHORITY PROCESSING FEE (SCR)	300.00	
ASSUMPTIONS	<ol style="list-style-type: none"> <li>The construction shall involve minimal site improvement works</li> <li>Finishes to be off basic specs; cement screed flooring, louver windows, etc.</li> <li>Indicative costs does not factor in inflation from 2019 onwards</li> </ol>	

# EXISTING



# OPTION 3



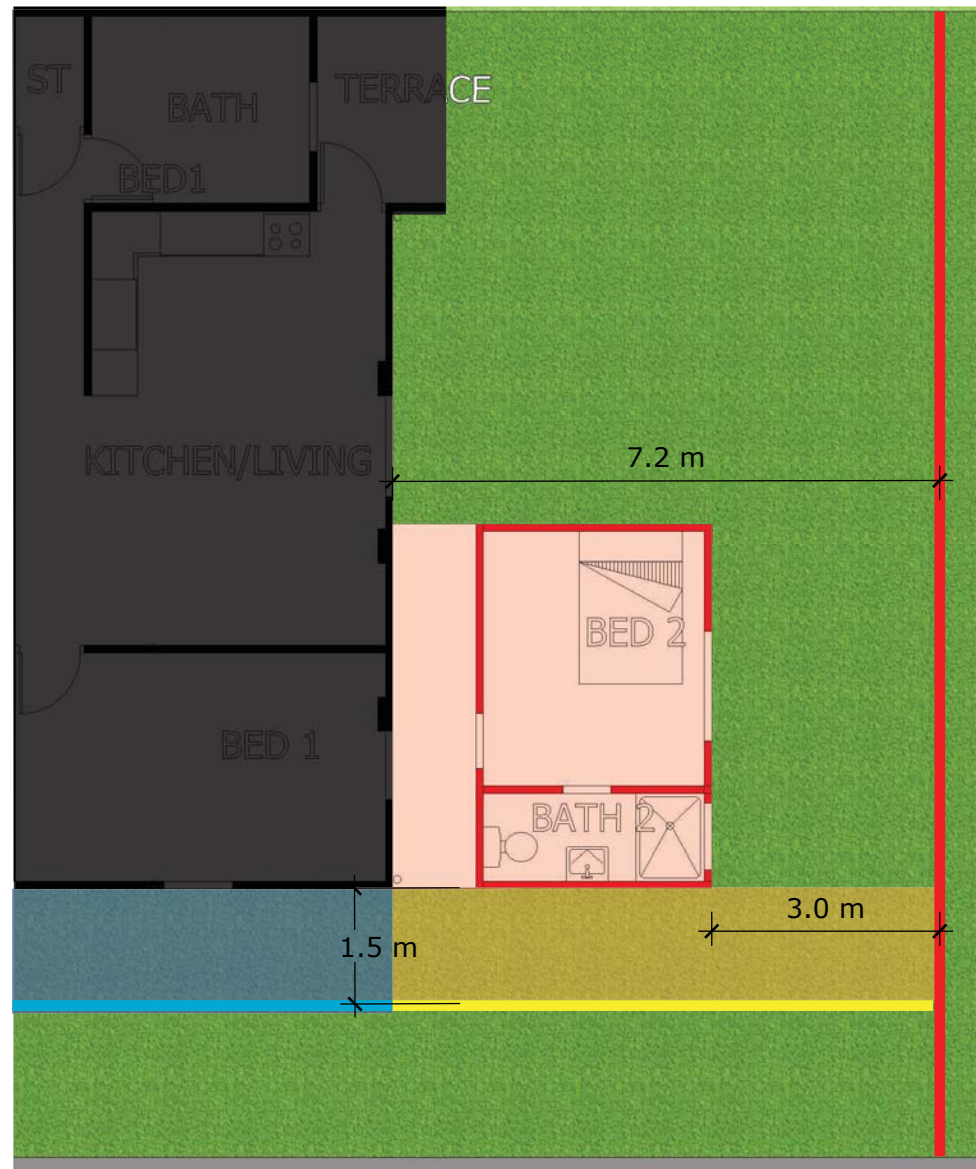


NOTE:  
 - EVERY NEW EXTENSION WINDOW MUST BE MIN 9 M FROM ANY OTHER EXISTING FACING WINDOWS.  
 - IF THE EXTENSION IS STREET FACING THE BACK SETBACK IS TO BE CONSIDERED FROM THE ROAD CENTER.

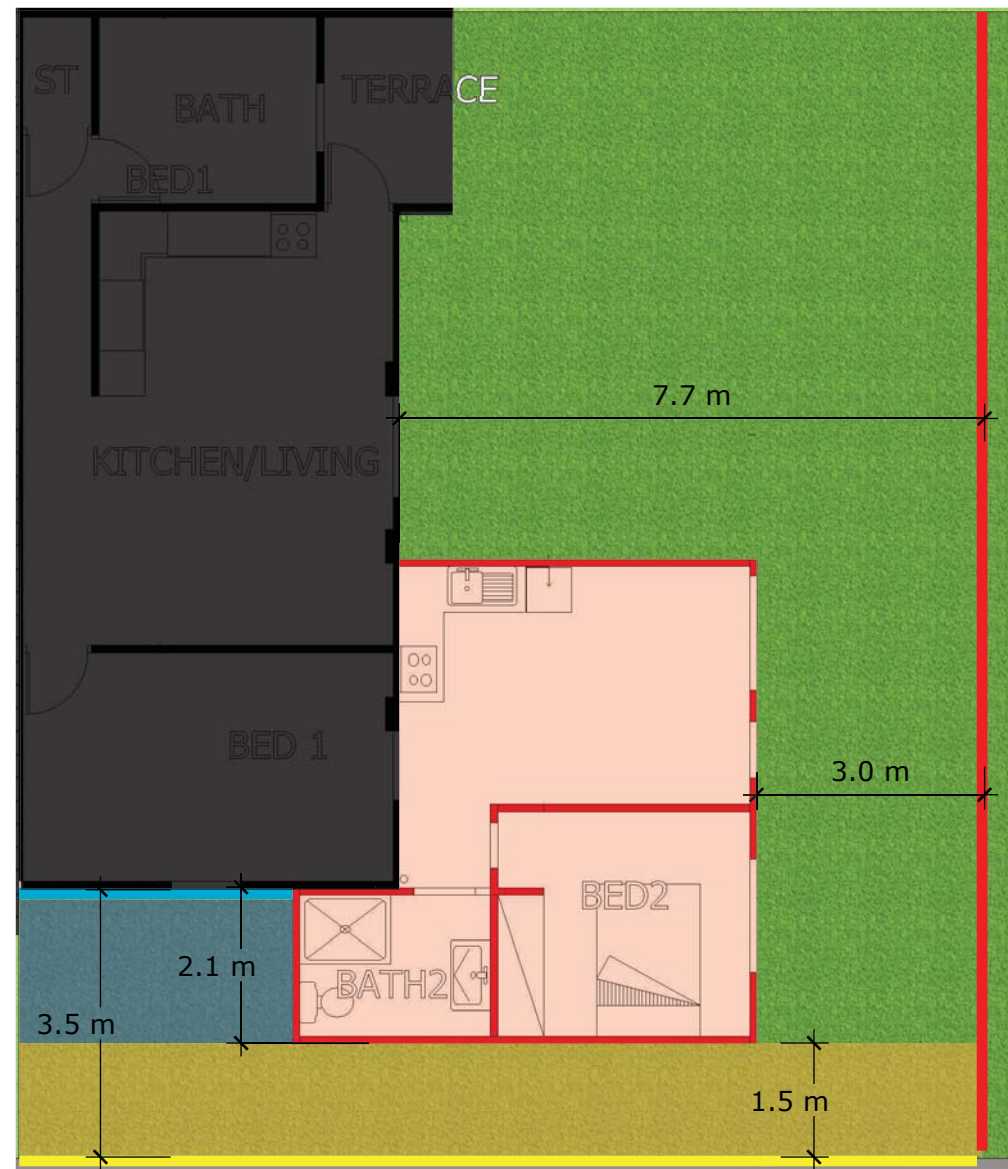
# EXTENTION MIN SETBACKS TYPE W



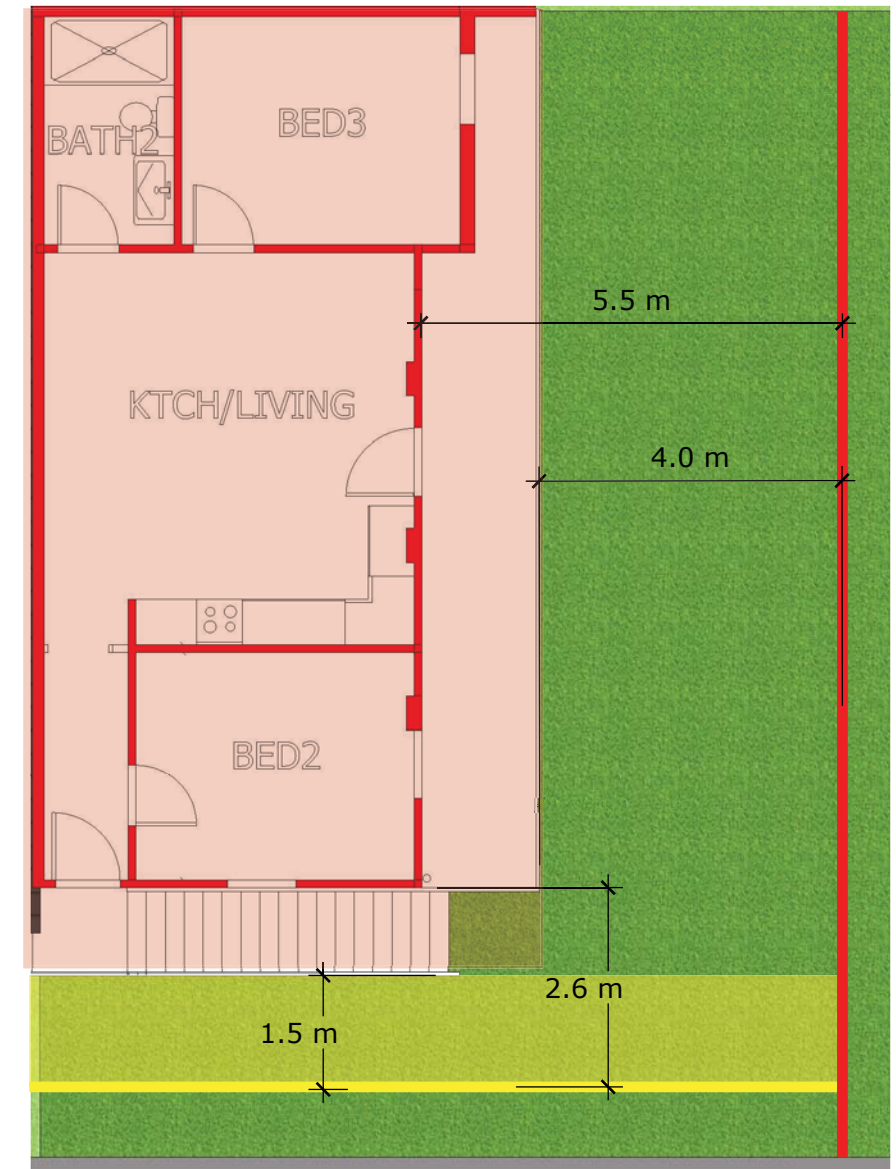
## OPTION 1



## OPTION 2



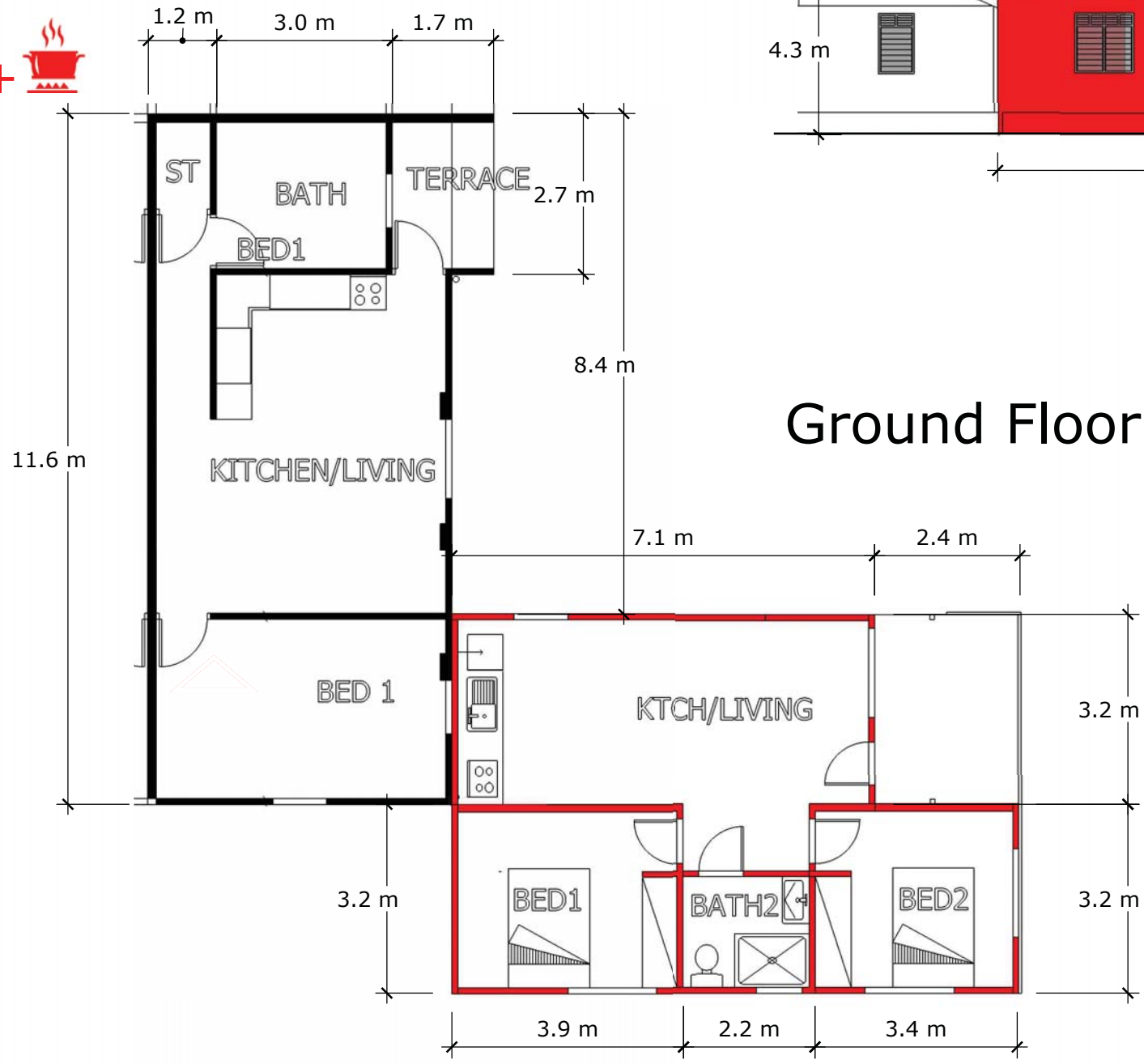
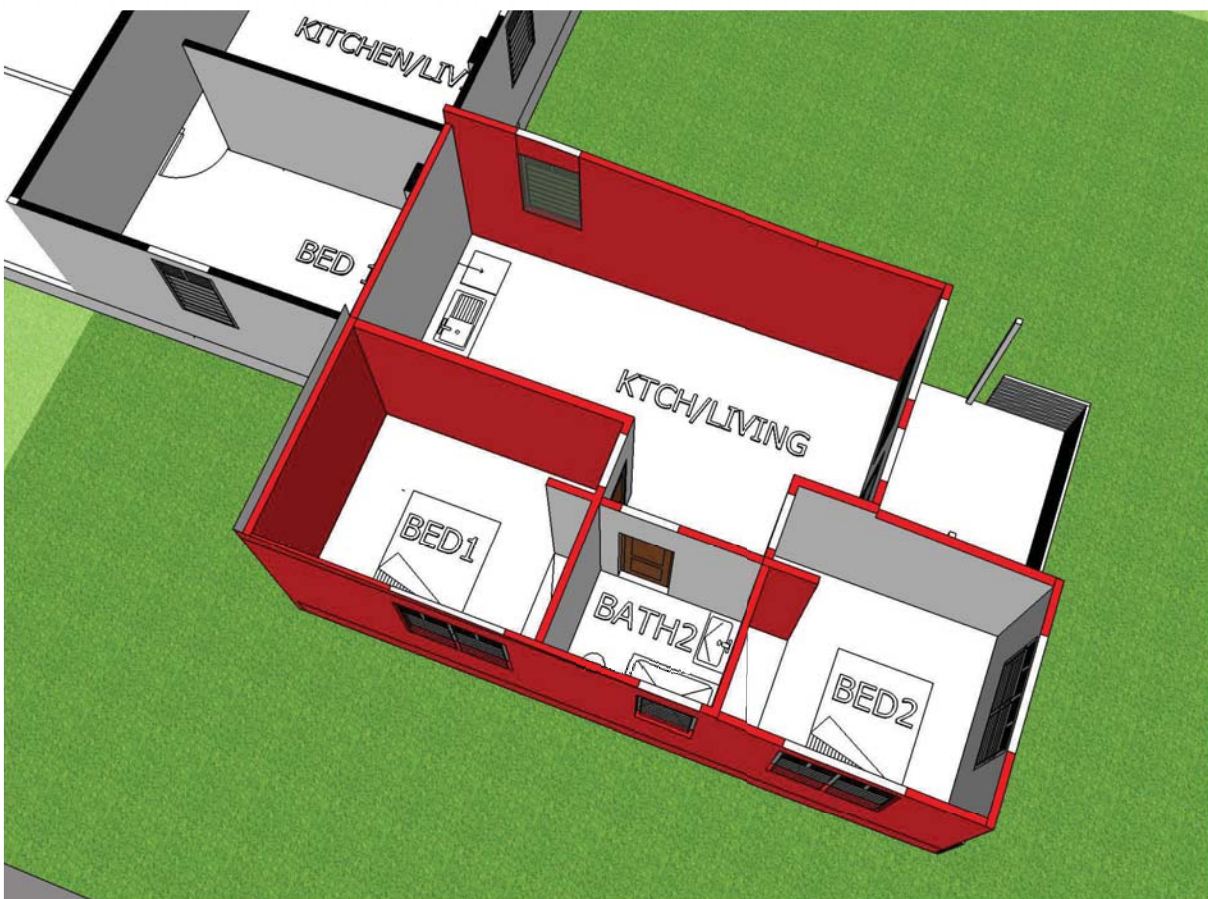
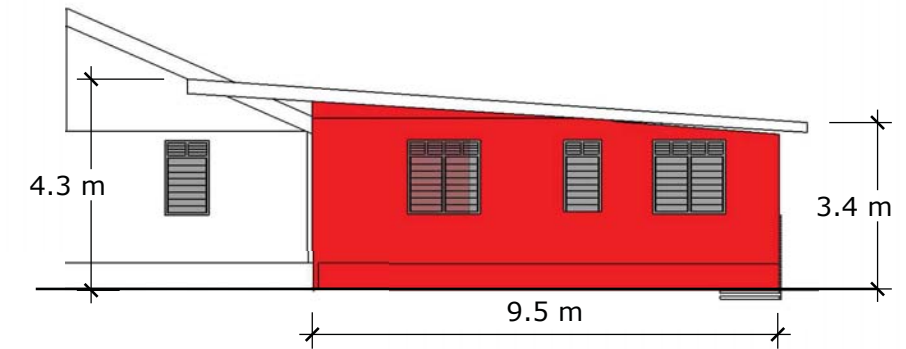
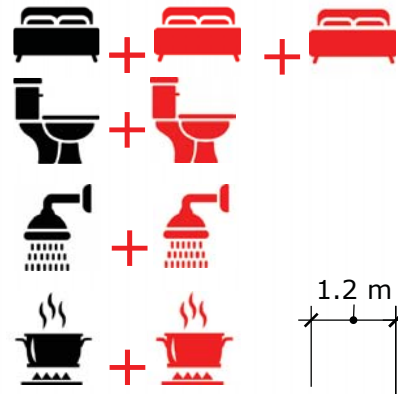
## OPTION 3



Scale 1:100



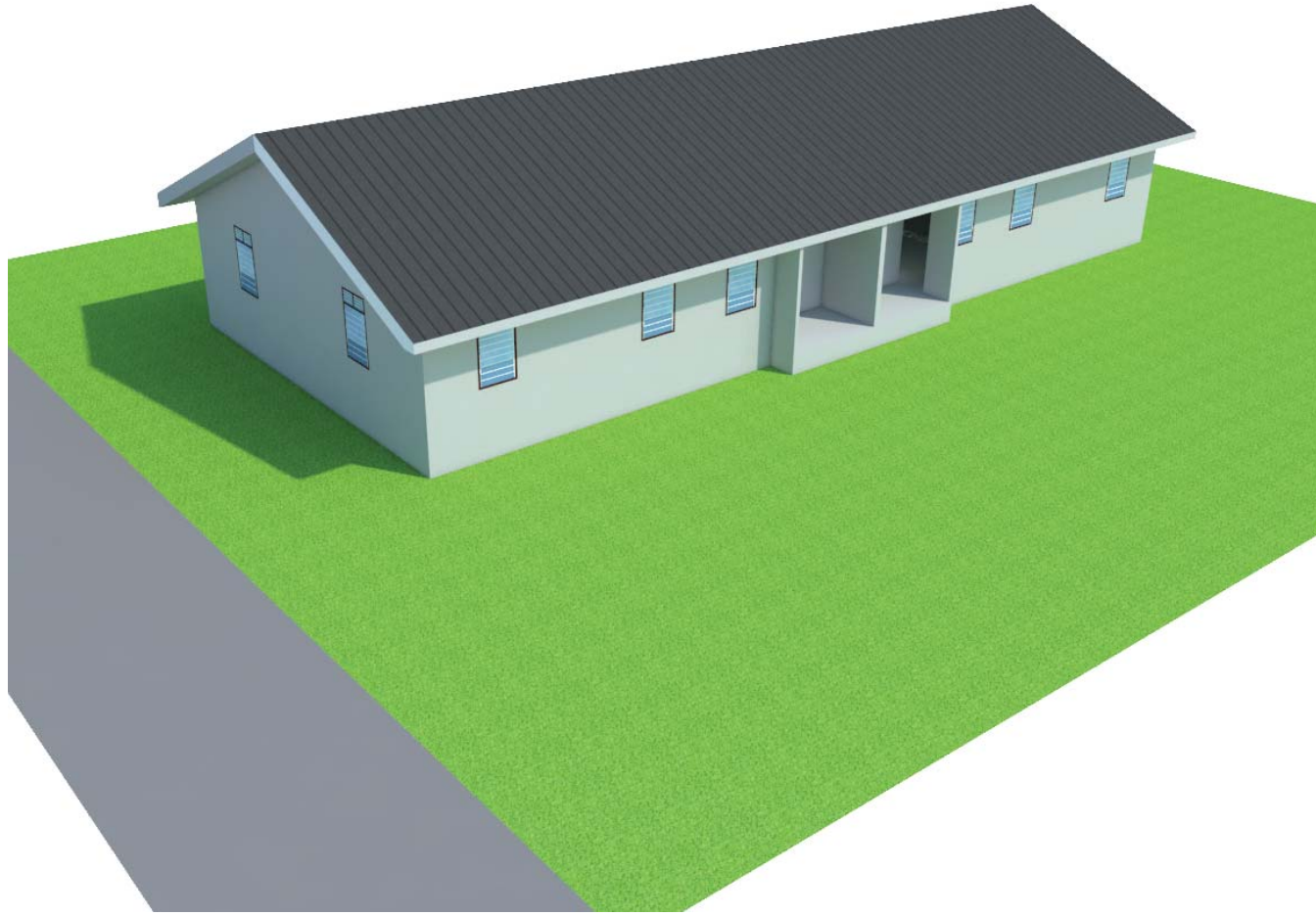
# WHITE HOUSE OPTION 2A



Ground Floor

OPTION 2		WHITE HOUSE	
	CONVENTIONAL BLOCKWORK MODEL	FIBER BOARDS OPTION	
OPTION 2 TOTAL AREA (SQM)	53.12m2	53.12m2	
INDICATIVE COST (SCR)	398,400.00	292,160.00	
PLANNING AUTHORITY PROCESSING FEE (SCR)	300.00		
ASSUMPTIONS	1. The construction shall involve minimal site improvement works 2. Finishes to be off basic specs; cement screed flooring, louver windows, etc. 3. Indicative costs does not factor in inflation from 2019 onwards		

# EXISTING



# OPTION 2A

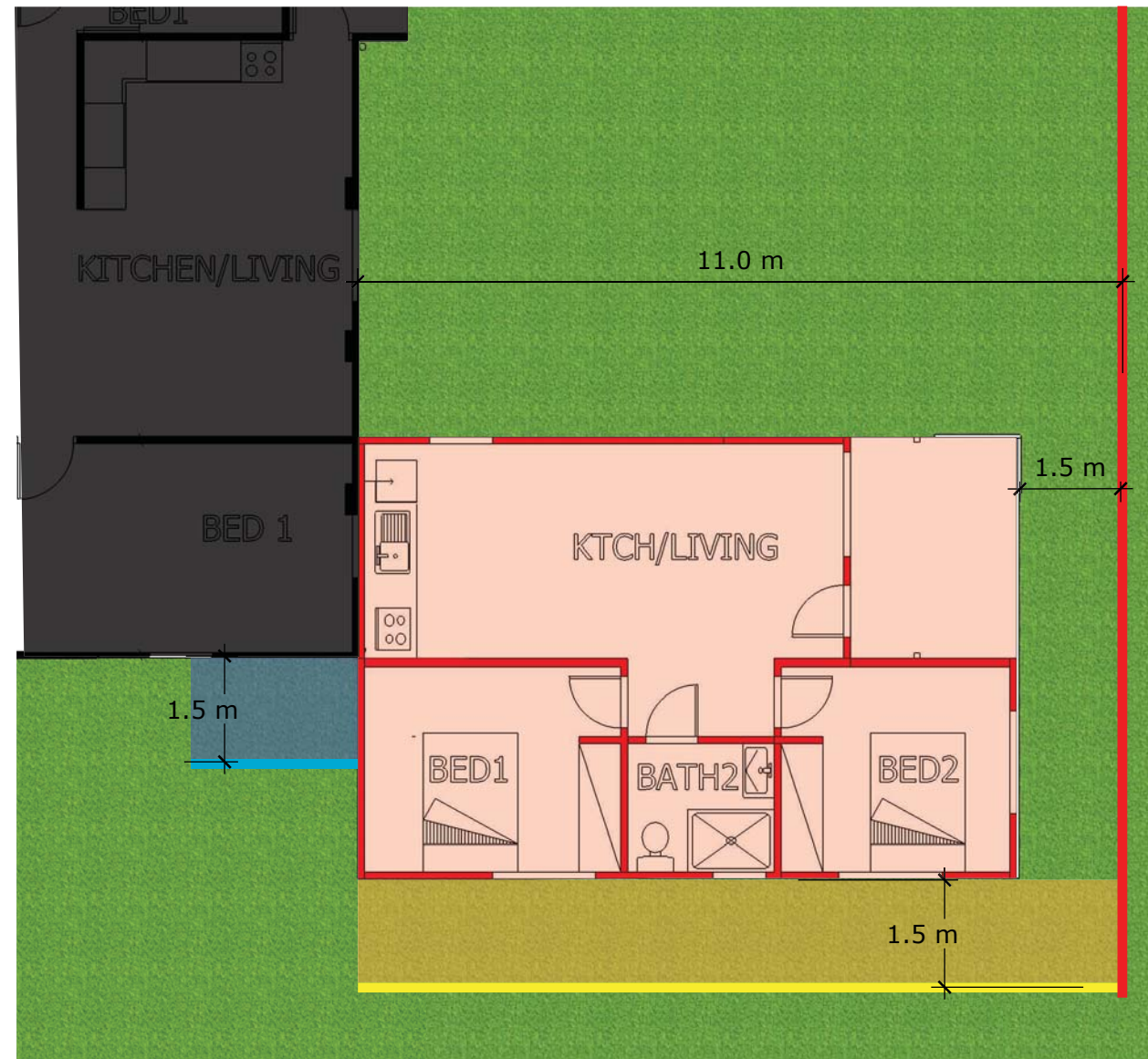


NOTE:  
 - EVERY NEW EXTENSION WINDOW MUST BE MIN 9 M FROM ANY OTHER EXISTING FACING WINDOWS.  
 - IF THE EXTENSION IS STREET FACING THE BACK SETBACK IS TO BE CONSIDERED FROM THE ROAD CENTER.

# EXTENTION MIN SETBACKS TYPE W



## OPTION 2A



Scale 1:100