

Ile Perseverance House Extension Guideline

1.0 Background




There are approximately 1500-1600 housing units on Ile Perseverance comprising of 4 main accommodation categories; namely blocks of flats, condominiums, terraced houses and semi-detached houses either 2 or 3 bedroomed units that are split into 2 sub-districts; Perseverance 1 and 2. The semi-detached and terraced houses are constructed on 125 sqm plots on average. High housing demands and limited land available to cater for housing developments are core factors impacting on the socio-economic development of Seychelles, and this has resulted in a considerable increase in request for house extensions on Perseverance. Moreover, in the case of Perseverance the current policy does not allow for extensions to houses.

2.0 Purpose

The proposed house extension guideline on Perseverance is targeted at semi-detached and terraced type houses. This construction guideline aims at promoting defined parameters at which the basis of controlling development for future extensions stems. Fundamentally the guideline also gives possibility for residents to extend their homes and in return helps address re-occurring issues in respect to land scarcity and increasing housing demands.

3.0 Different House types

There are 9 different house types that engulf these 2 schemes.

House Options	Number of Bedroom	Illustrations
Option 1 semi-detached	2	
Option 2 semi-detached	2	
Option 3 semi-detached	2	

<p>Option 4 terraced</p>	<p>2</p>	
<p>Option 5 semi-detached</p>	<p>3</p>	
<p>Option 6 semi-detached</p>	<p>3</p>	
<p>Option 7 semi-detached</p>	<p>3</p>	
<p>Option 8 terraced</p>	<p>3</p>	
<p>Option 9 semi-detached</p>	<p>3</p>	

4.0 Proposed Guideline for Extensions

General Note

This guideline makes provision for extensions of additional bedrooms or bathrooms to existing house, or enlargement of any existing house spaces only. The intention is to create more living space to existing house not to have a separate self-contained house altogether.

Design and construction of new extensions needs to take into account the following parameters

➤ **Horizontal (Ground floor Extensions)**

- (i) Existing Foundation: All existing houses are on a raft foundation. New development needs to take into account existing ground conditions. All new foundations are to be independent of existing foundation.
- (ii) Services: Relocation of service ducts where appropriate.
- (iii) Utilities: Distance from existing underground utilities should be maintained as follows :
 - ***Electricity: At least 1.5m from the main trunk-PUC power supply line; In the event the extension requires relocation of existing house electrical meter this should be reflected in the proposal submitted to planning Authority for PUC's input as the custodian of electrical guideline.***
 - ***Water & Sewerage: A minimum distance of 1m from the service corridor in which the utilities are located, that includes; main PUC water distribution line with meter and main sewerage network. The proposed extension should also take into consideration the PUC access points in terms of saddles for water line and inspection chambers/ manholes for sewerage lines which might be located on the applicant's property. These access points should not be blocked. Any proposal for relocation of the latter for extension purposes should be submitted to planning Authority for PUC's input as custodian of the water and sewerage guidelines.***
 - ***Telecom: A minimum distance of 300mm from any direction should be maintained from any underground telecommunication cables/ducts.***
- (iv) Ventilation: Proposed extensions shall be constructed to meet planning building regulations which stipulates that:

"PART J - VENTILATION, OPEN SPACE AND HEIGHT OF ROOMS

56 (1) *Every building and its several compartments shall be adequately ventilated, having regard to the use for which the building and the individual compartments of the building are intended.*

(2) *Except where artificial means of ventilation are, or are intended to be, provided to the satisfaction of the Authority, the ventilation of buildings shall comply with the following standards, that is to say -*

(a) *every habitable room and kitchen and every room in which any person is habitually employed in any manufacture, trade or business shall be ventilated directly to the external air by a ventilation opening or openings of total area not less than -*

(i) *one-sixth of the floor area of the room where the ventilation is in one wall only; or*

(ii) *one-eighth of the floor area of the room where there is ventilation in two or more walls, and in this case at least one quarter of the minimum area for ventilation shall be in each of two walls,*

and some part of such area shall not be less than 6 feet (1.83 metres) above the floor;

(b) *every storage room which is used for storing food other than food in unopened sealed containers shall have ventilation directly to the external air. Such ventilation shall consist of openings at high and low level, each of not less than 26 square inches (16774 square millimetres) in area, with the top of the upper opening being not more than 6 inches (152.4 millimetres) below the ceiling and the bottom of the lower opening being not more than 12 inches (304.8 millimetres) above the floor level. All such openings shall be covered with fly-proof screens and be rodent-proof;*

(c) *every room containing watercloset fittings, urinal fittings, an acqua privy, pit latrine, bucket latrine or chemical closet shall have either -*

(i) *a window, skylight or other similar means of ventilation which opens directly into the external air and of which the area capable of being opened is not less than one sixth of the floor area or 3 square feet (0.279 square metres), whichever is the greater; or*

(ii) *mechanical means of ventilation which effects not less than three changes of air per hour and discharges directly into the external air;*

(d) *the attic space between ceiling joists and roof rafters shall be effectively ventilated and openings shall be located to provide effective cross-ventilation and such openings shall be covered with a corrosion-resistant"*

(v) Natural lights: Consideration should be taken in respect to blockage of existing openings in bathroom/toilet or bedrooms.

(vi) Superstructure construction: Materials to be considered are blocks, cement board or any other alternative construction techniques to match existing in terms of aesthetics, which also includes maintaining the same color scheme as existing, and durability. **No C.I sheet extension to be considered for external cladding**

(vii) Roof: Maintaining the framework of the existing architecture, design and material, and staying within their boundary line. The roof shall maintain the same color scheme and profile (square) as existing.

(viii) The distance from proposed structure to existing boundary line shall be done in accordance to the planning building regulations which stipulates that:

"...The distance from the boundary usually depends on the number of openings or a minimum of one meter whichever is greater.

RULES FOR CALCULATING OPENINGS IN EXTERNAL WALLS

- Clause 1.** *The permitted limits of openings in any side of a building or compartment shall be calculated by reference to the requirements of this Table.*
- Clause 2.** *For the purposes of this Table the expression opening shall have the meaning ascribed to it in Regulation 20, but in calculating the size of opening the following provisions shall apply:-*
- (i) where any part of an external wall is designated an opening only because it has combustible material attached to it as cladding, the area of the opening shall be deemed to be one half the area of such cladding;*
 - (ii) where the wall is situated on or within 3 ft (0.9m) of a boundary of the plot no account shall be taken of an opening which does not exceed 150 in. \hat{A}^2 (0.1 m \hat{A}^2) and which is not less than 5 ft (1.5m) from any other opening in the same side of the building or compartment;*
 - (iii) where the wall is situated 3 ft (0.9m) or more from the boundary of the plot no account shall be taken of the following openings*
 - (a) any openings designated in clause 2(ii) of this Table;*
 - (b) one or more openings having an area (or if more than one an aggregate area) no exceeding 10 ft \hat{A}^2 (1.0 m \hat{A}^2) and being not less than 12 ft. (3.6m) from any other opening in the same side of the building or compartment, (except any opening as is specified in clause (ii) above);*
 - (c) an opening in any part of an external wall which forms part of a protected shaft.*
- Clause 3.** *The percentage of openings in an external wall shall be calculated in accordance with this Table and the wall shall be so sited that the distance from the external face of the wall to the boundary of the plot is not less than that prescribed in this Table.*

DISTANCE FROM THE BOUNDARY OF THE PLOT TO EXTERNAL WALL

Imperial Measure

<i>Height of wall not exceeding ft.</i>	<i>Length of wall not exceeding ft.</i>	<i>Minimum distance (ft) from external face of wall to boundary when proportion of openings in wall is:-</i>			
		<i>Less than 20%</i>	<i>Over 20% but less than 30%</i>	<i>Over 30% but less than 50%</i>	<i>50% or more</i>
30	40	3	9	14	21
	80	5	11	17	28
	120	6	11	19	32

	160	6	11	20	35
	200	6	11	20	37
60	40	7	13	20	30
	80	9	17	27	42
	120	11	19	31	50
	160	11	21	34	56
	200	11	21	36	60

- NOTES:**
- (a) *Where the length of an external wall containing openings exceeds 200 ft the minimum distances from the external face of that wall to the boundary of the plot shall be the same as the distances required for a wall more than 160 ft and less than 200 ft long.*
- (b) *In determining the height and length of the wall and the proportion of openings in the side of the building or compartment, only that part in which openings occur shall be considered.*
- (c) *Where the external wall is in more than one vertical plane, the distance should be measured from that part of the wall which is nearest to the plot boundary. Any setback or recess of 5 ft or less shall be disregarded. Any setback or recess of more than 5 ft shall be considered as a separate wall.*

Metric Measure

Height of wall not exceeding (m).	Length of wall not exceeding (m)	Minimum distance (m) from external face of wall to boundary when proportion of openings in wall is:-			
		Less than 20%	Over 20% but less than 30%	Over 30% but less than 50%	50% or more
9	12	1.0	2.7	4.3	6.4
	24	1.5	3.4	5.2	8.5
	36	1.8	3.4	5.8	9.5
	48	1.8	3.4	6.1	10.7
	60	1.8	3.4	6.1	11.3
	12	2.1	4.0	6.1	9.1
	24	2.7	5.2	8.2	12.8

18	36	3.4	5.8	9.2	15.2
	48	3.4	6.4	10.9	17.1
	60	3.4	6.4	11.0	18.3

NOTES: (a) *Where the length of an external wall containing openings exceeds 60 m the minimum distances from the external face of that wall to the boundary of the plot shall be the same as the distances required for a wall more than 48 m and less than 60m long.*

(b) *In determining the height and length of the wall and the proportion of openings in the side of the building or compartment, only that part in which openings occur shall be considered.*

(c) *Where the external wall is in more than one vertical plane, the distance should be measured from that part of the wall which is nearest to the plot boundary. Any setback or recess of 1.5 m or less shall be disregarded. Any setback or recess of more than 1.5 m shall be considered as a separate wall."*

➤ **Vertical (Ground and first floor only extensions)**

(i) Existing Foundation: All existing houses are on a raft foundation. New development needs to take into account existing ground conditions. All new foundations are to be independent of existing foundation.

(ii) Services: Relocation of service ducts

(ix) Utilities: Distance from existing underground utilities should be maintained as follows :

- **Electricity:** *At least 1.5m from the main trunk-PUC power supply line; In the event the extension requires relocation of existing house electrical meter this should be reflected in the proposal submitted to planning Authority for PUC's input as the custodian of electrical guideline.*
- **Water & Sewerage:** *A minimum distance of 1m from the service corridor in which the utilities are located, that includes; main PUC water distribution line with meter and main sewerage network. The proposed extension should also take into consideration the PUC access points in terms of saddles for water line and inspection chambers/ manholes for sewerage lines which might be located on the applicant's property. These access points should not be blocked. Any proposal for relocation of the latter for extension purposes should be submitted to planning Authority for PUC's input as custodian of the water and sewerage guidelines.*
- **Telecom:** *A minimum distance of 300mm from any direction should be maintained from any underground telecommunication cables/ducts.*

(iii) Ventilation: Same as point iv for horizontal extensions

- (iv) Natural lights: Consideration should be taken in respect to blockage of existing openings in bathroom/toilet or bedrooms.
- (v) Superstructure construction: Materials to be considered are blocks, cement board or any other alternative construction techniques to match existing in terms of aesthetics, which also includes maintaining the same color scheme as existing, and durability. **No C.I sheet extension to be considered for external cladding**
- (vi) Roof: Maintaining the parameters to the existing architecture, design and material, and staying within their boundary line. The roof shall maintain the same color scheme and profile (square) as existing. The proposed extension should **NOT** surpass the maximum existing roof line height.
- (vii) Distance from proposed extension to boundary line shall be same as point (viii) for horizontal extensions

Note/Conditions

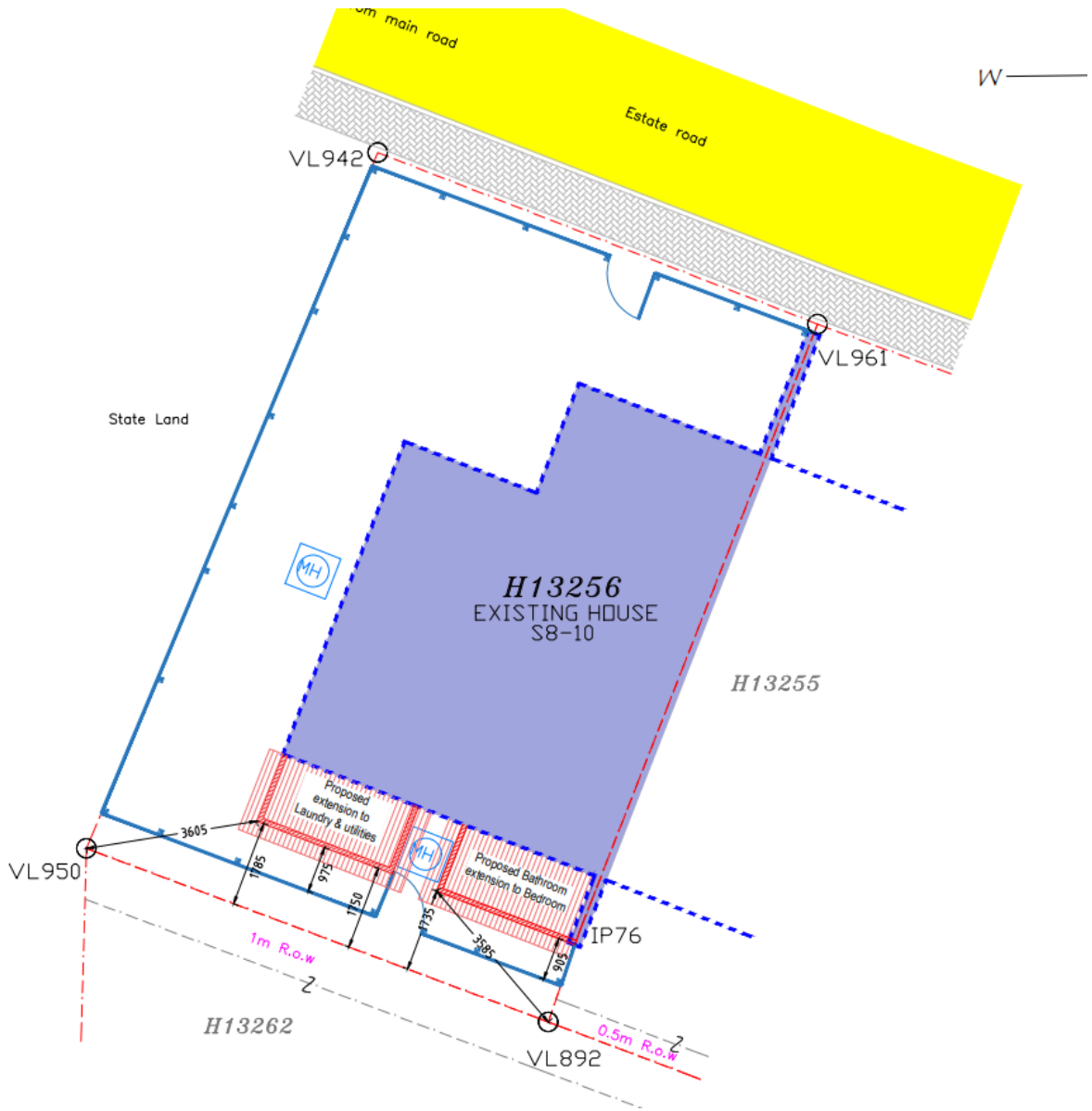
- ***Further to this guideline all proposed extension/development should be done in line with the Physical Planning Act 2021.***
- ***Applicants are to seek services of private agents for designing and subsequent planning submission***
- ***As a prerequisite, Applicant needs PMC's permission/approval for planning submission.***
- ***There should be no modifications to internal partitions***

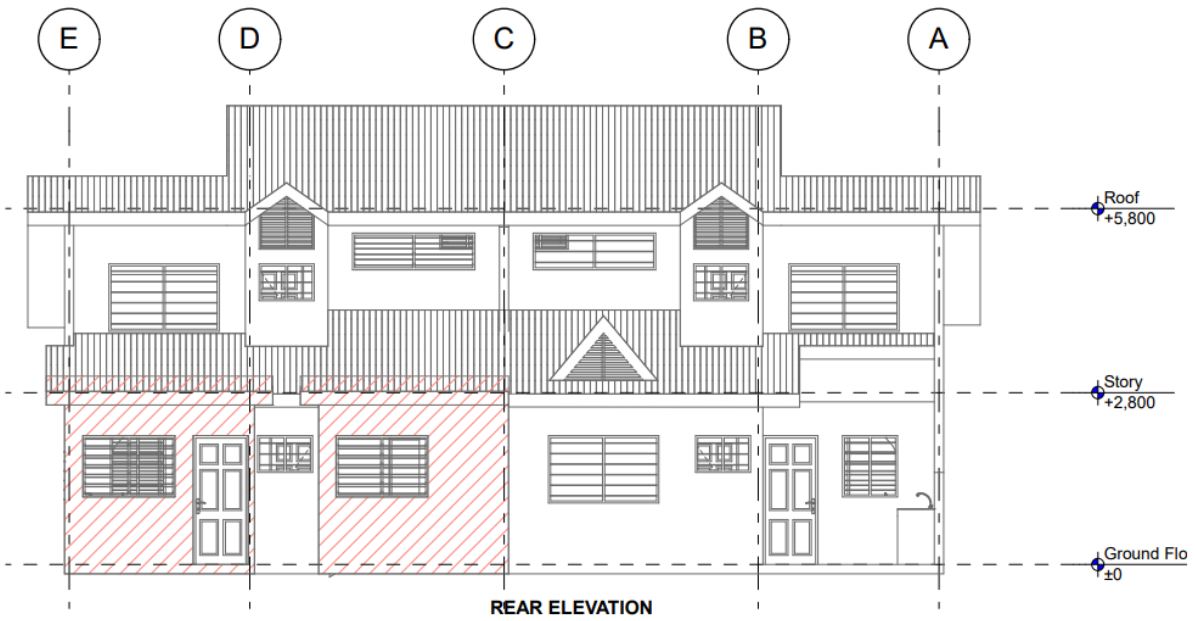
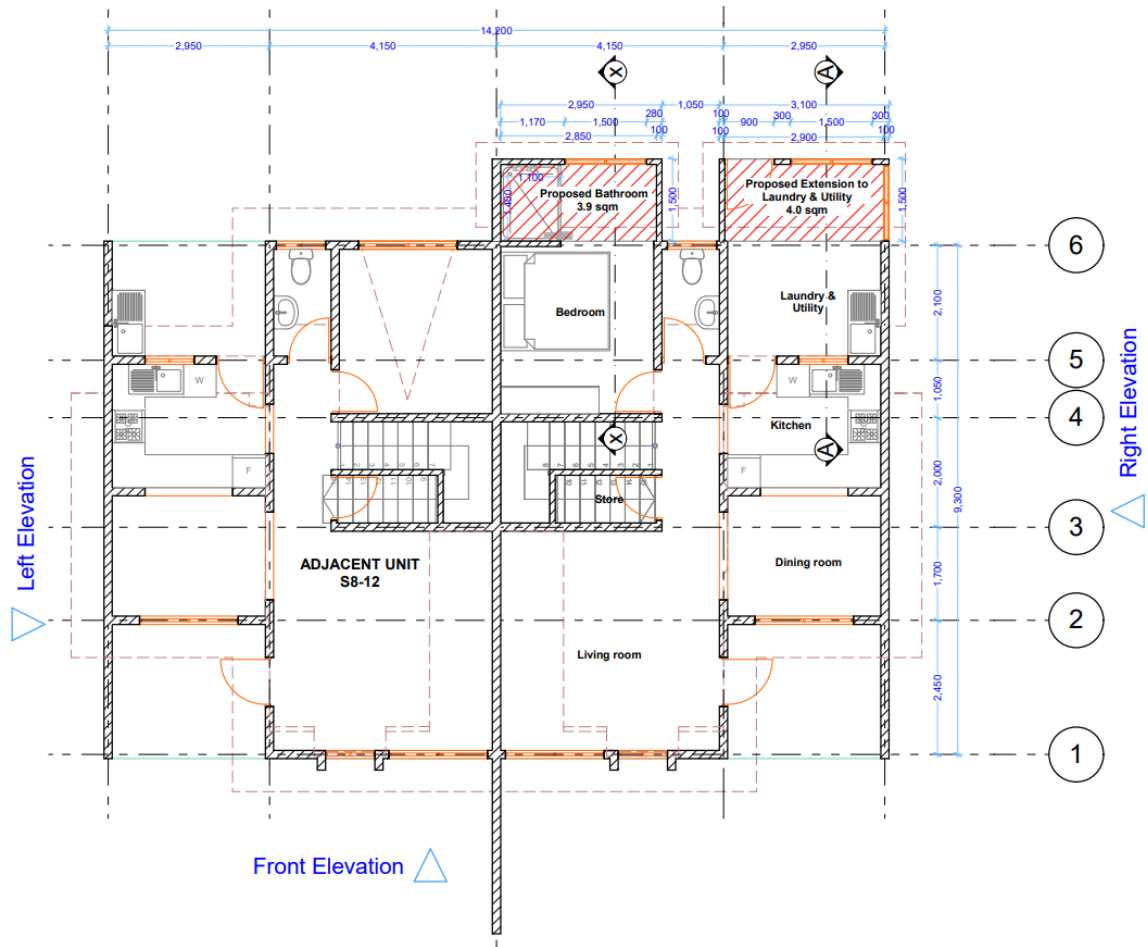
5.0 Appendices-Examples of proposed Extensions

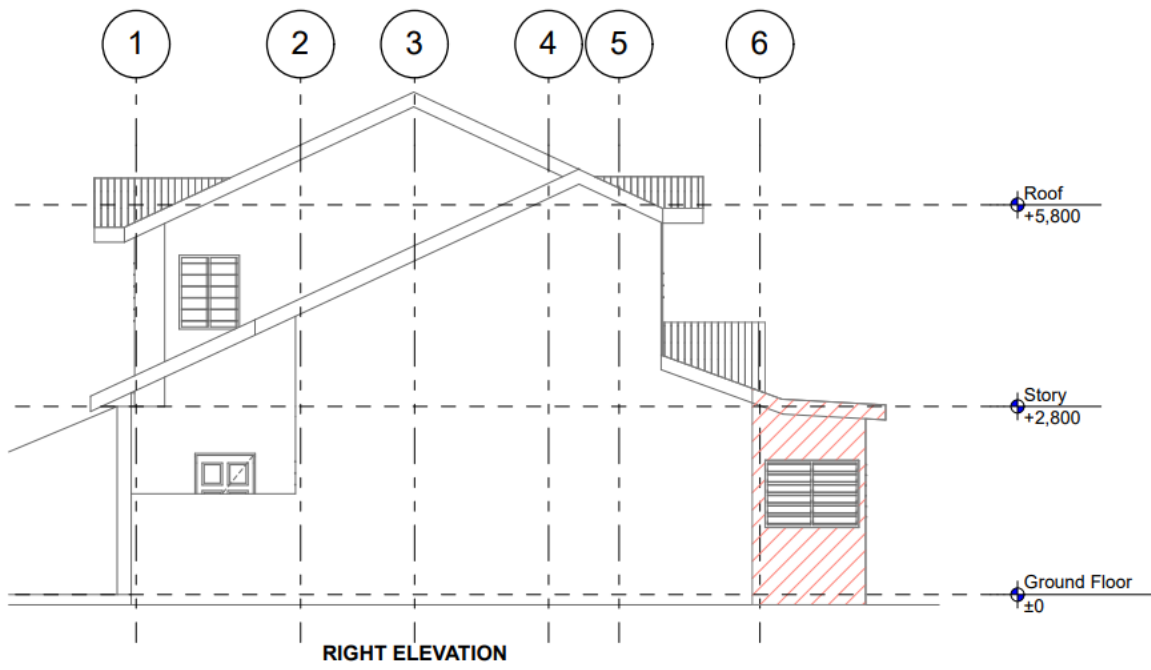
5.1 Appendix A: Option 9-3 bedroom

5.2 Appendix B: Option 2-2 bedroom

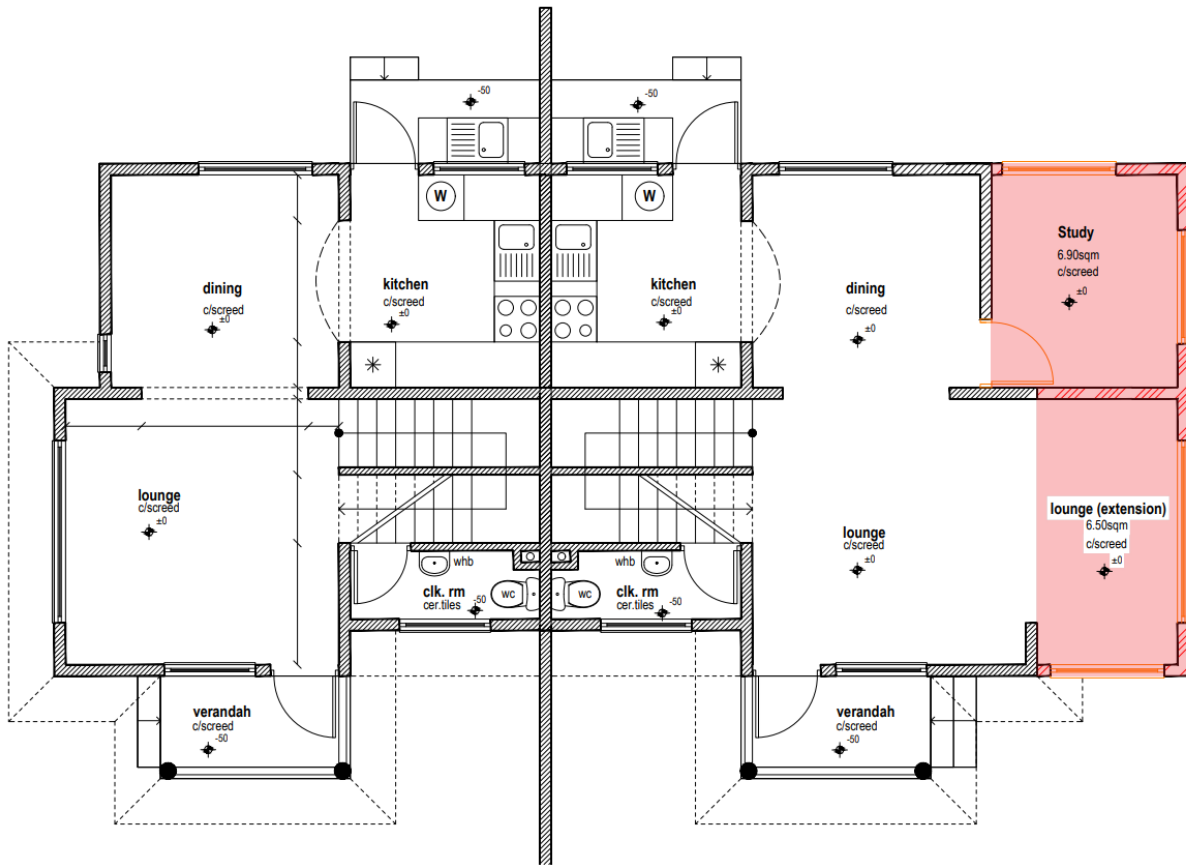
Appendix A: Option 9 -3 bedroom

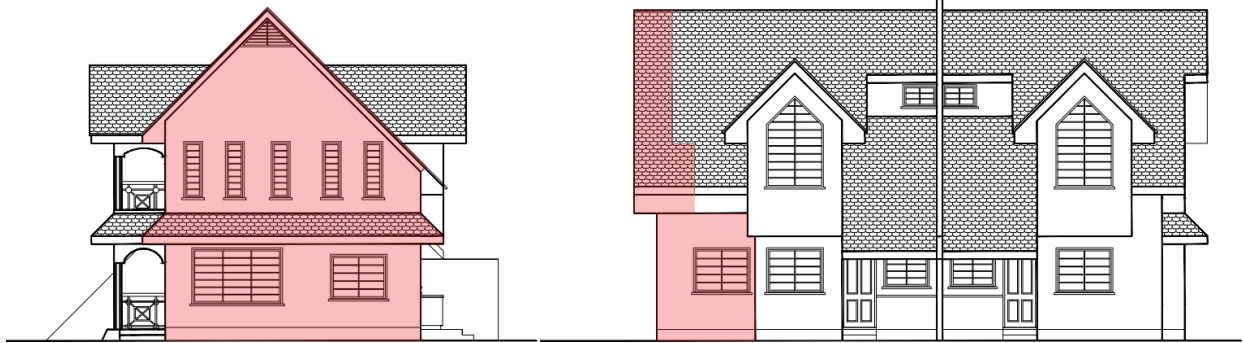
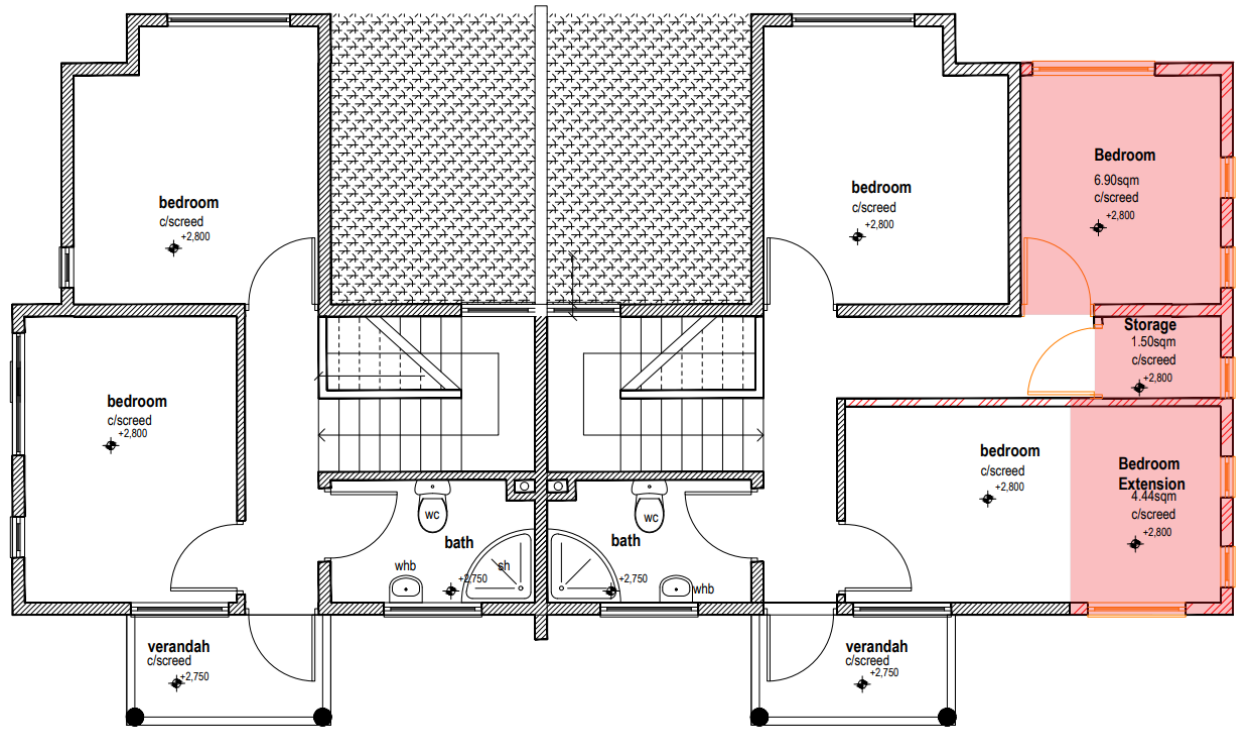




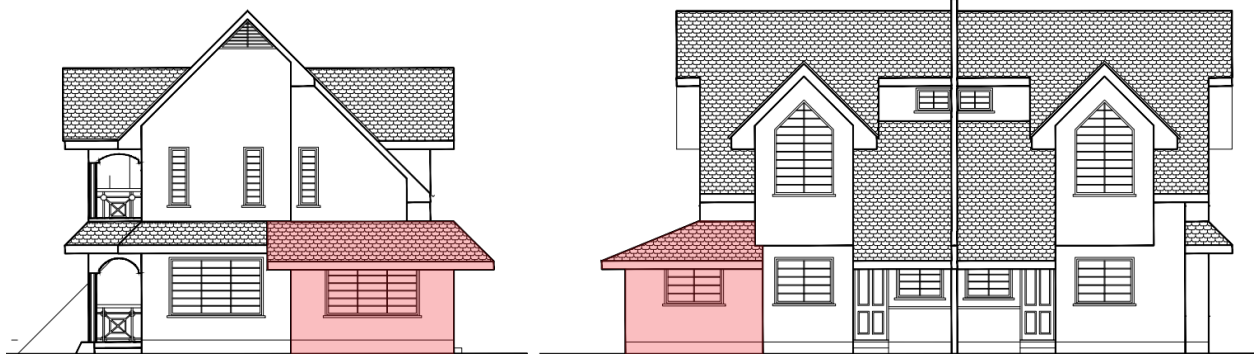
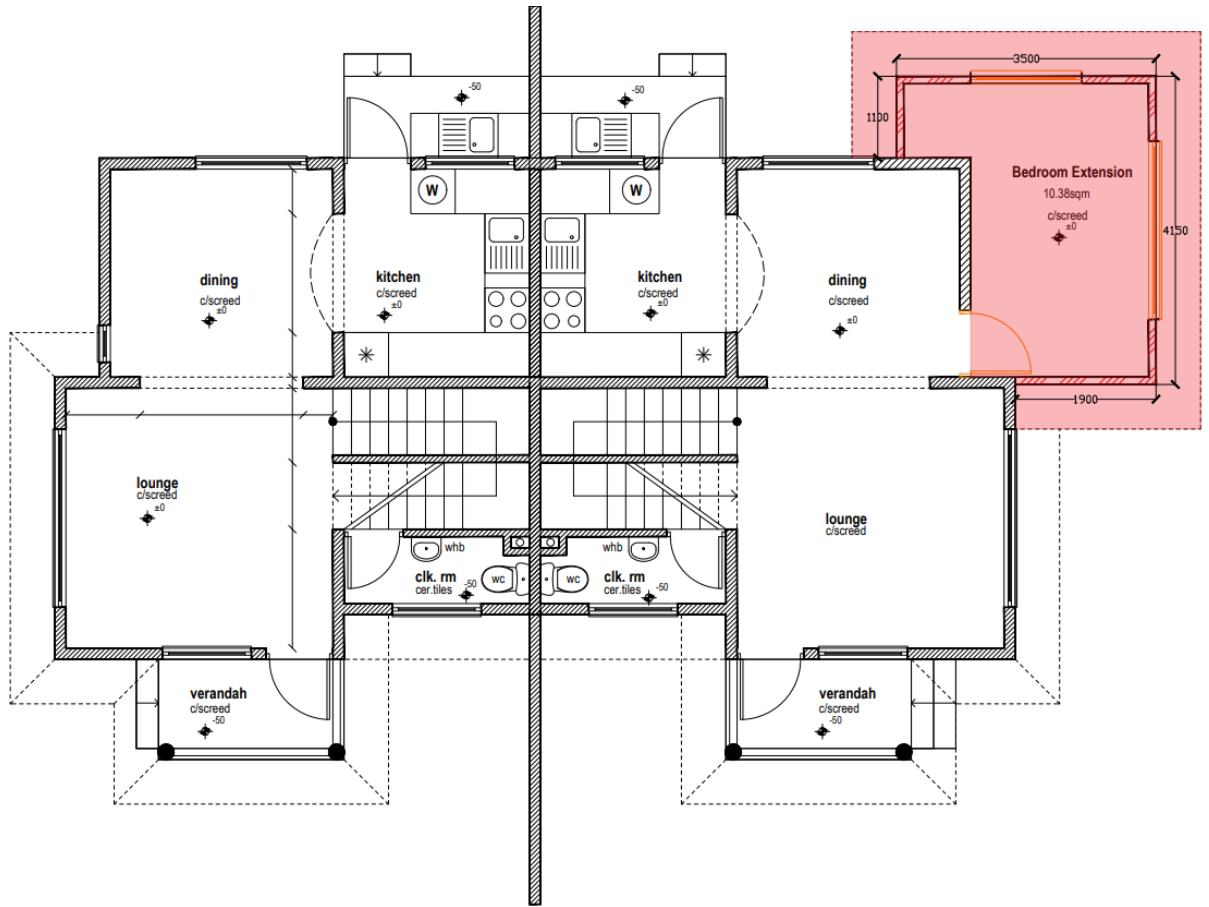


Appendix B: Option 2 -2 bedroom





Proposal 1



Proposal 2